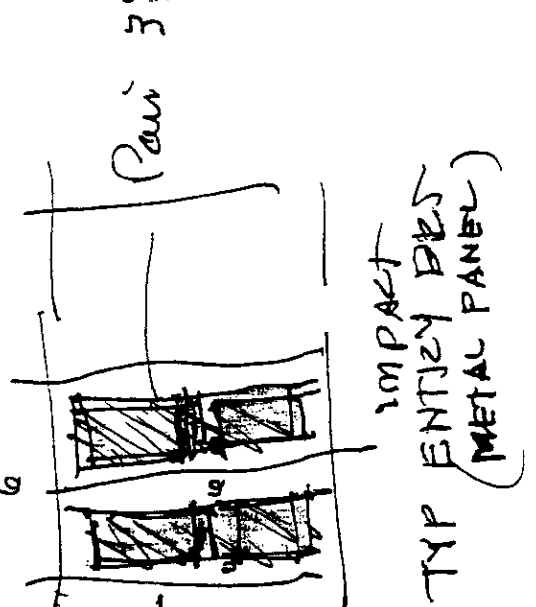
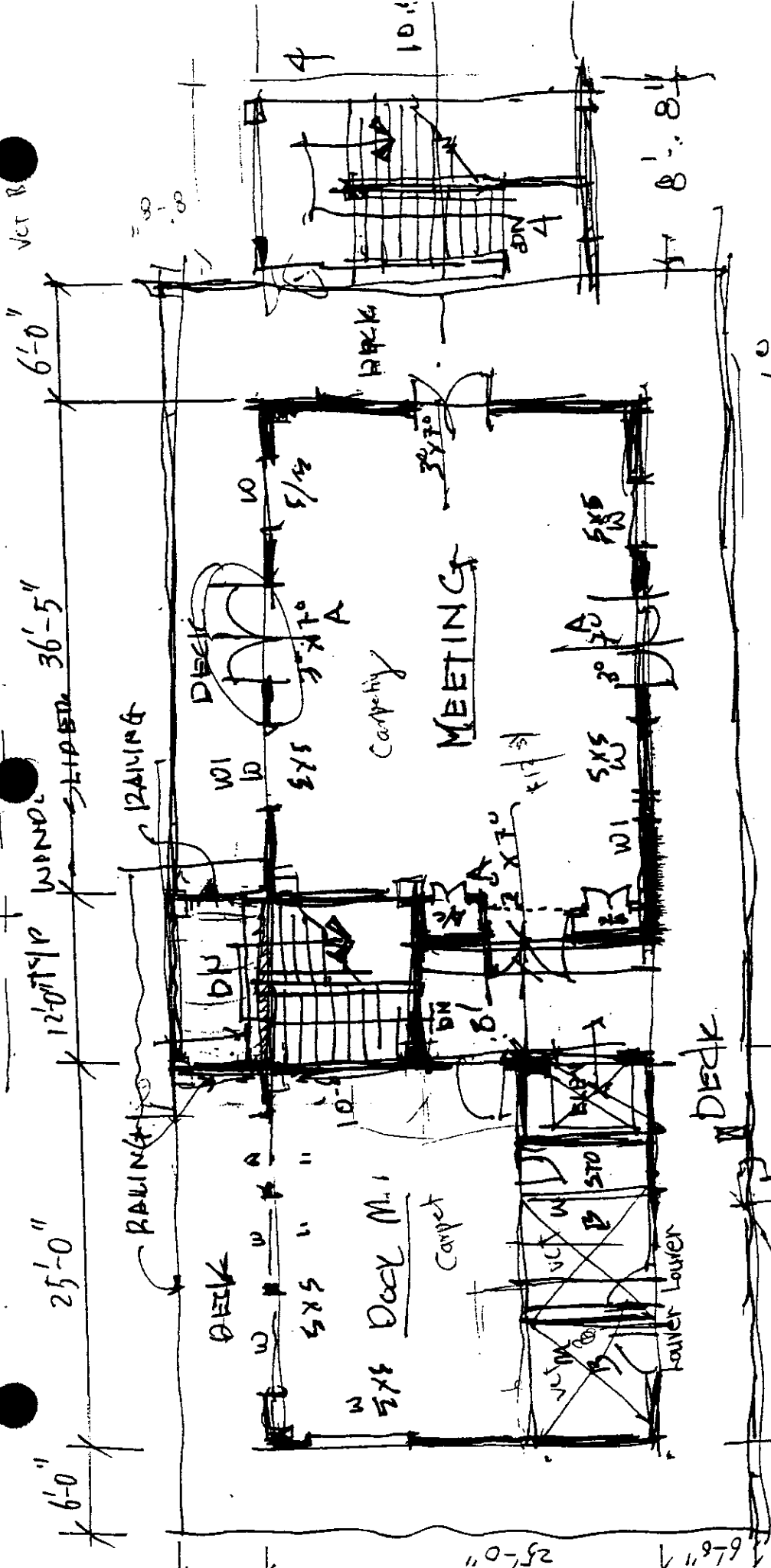


T A B

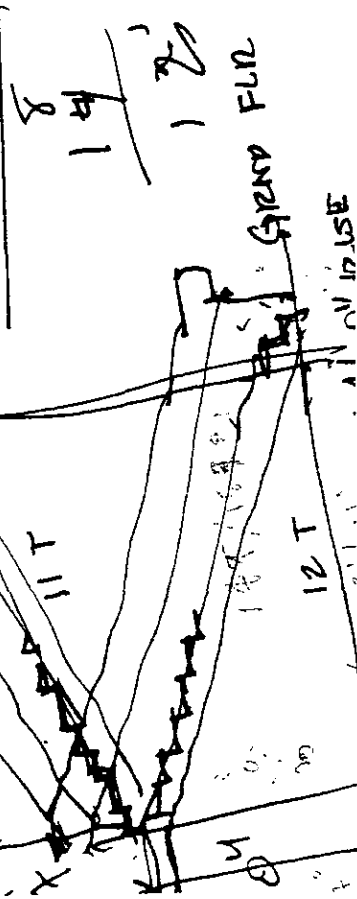
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Section 4

Section 4



2ND FLOOR PLAN



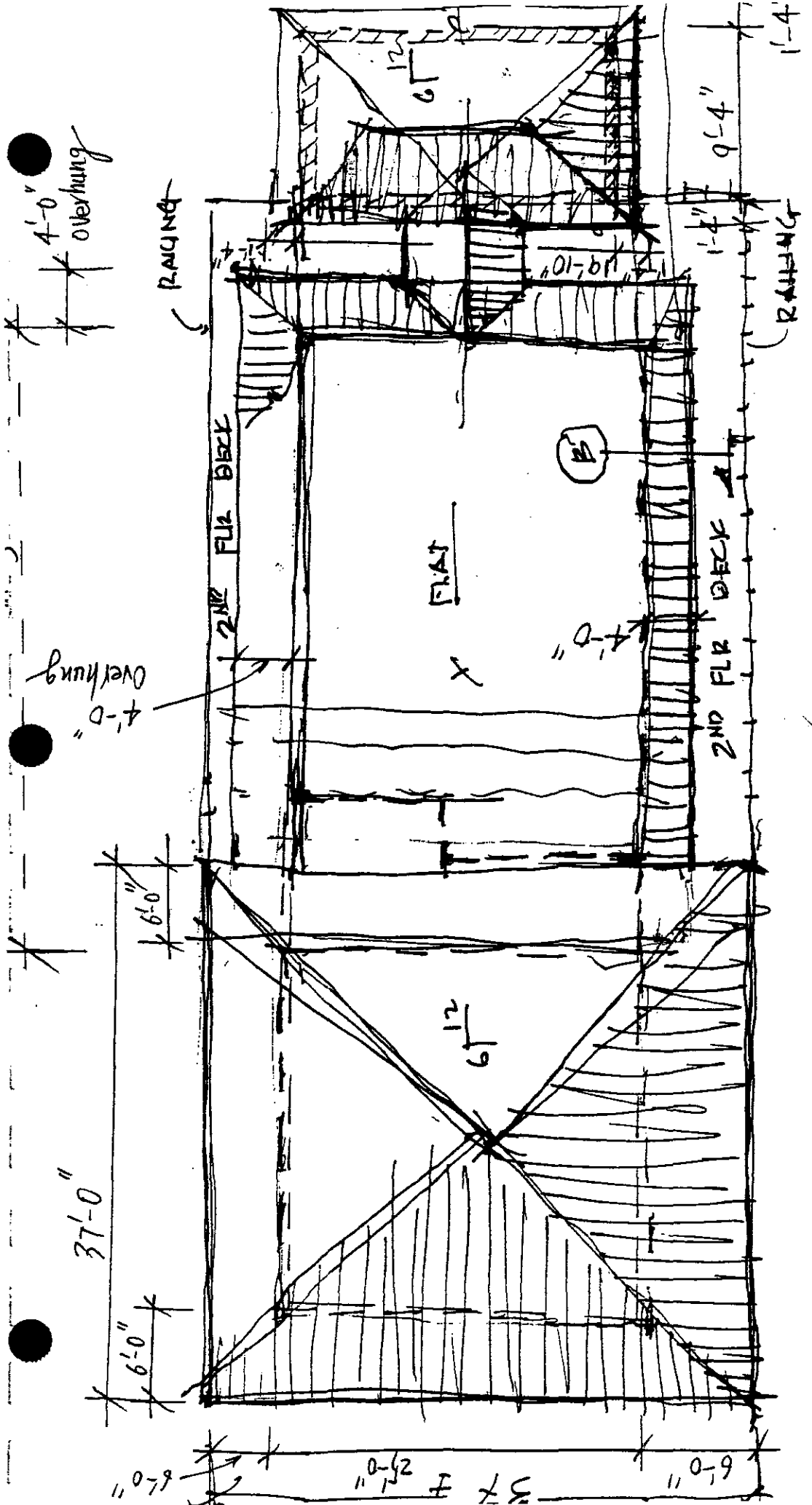
DECK

2ND FUR

GRAND FUR

10-25

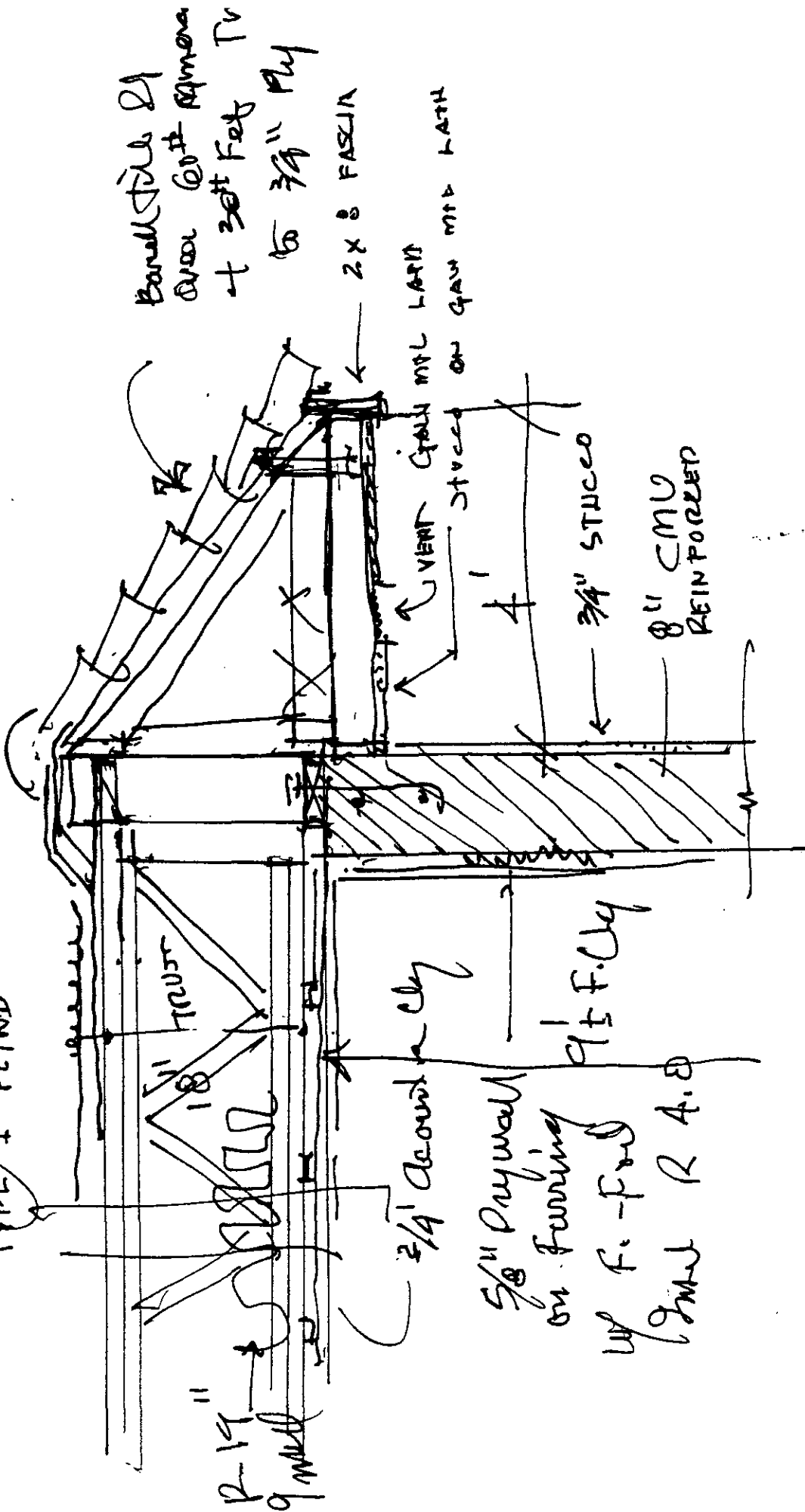
1-9-9



ROOF PLAN

NTS

BUILT-UP DE
OVER 3/4" EXT GR
TYPE I PLYND



Bandwidth 21
Over 60th Rima
+ 30th Flat TV
to 39" Ply

2x8 FASLIN

VENT GRAB MFL LATH
stucco on GAW MID LATH

4'

3/4" STUCCO

8" CMU
REINFORCED

TRUSS

R-19
9" MFL

3/4" Acoustical Cg

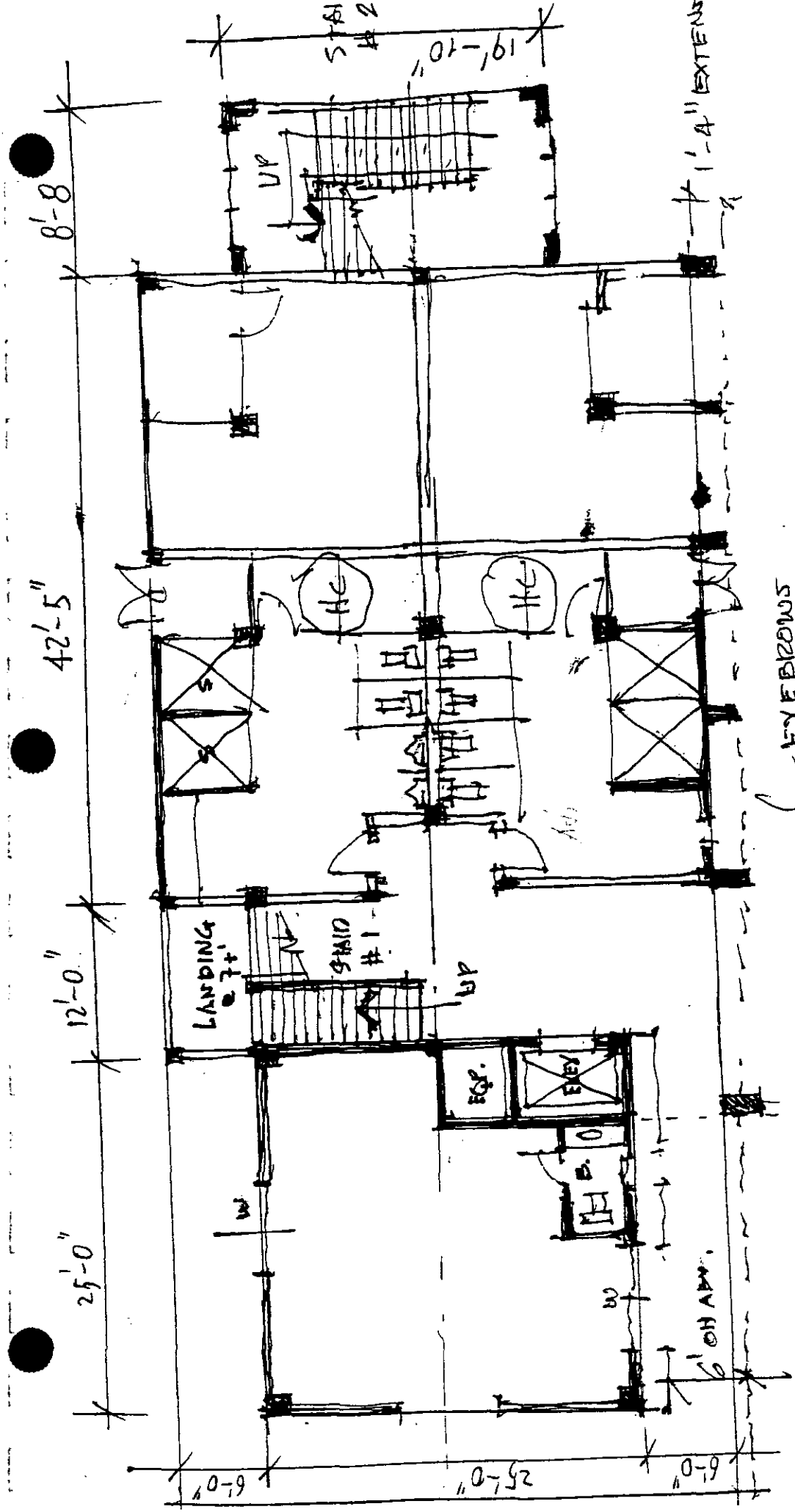
5/8" Plywood

on Furring

1/2" F. Cg

UP F.-Fwd
2x4 R A. B

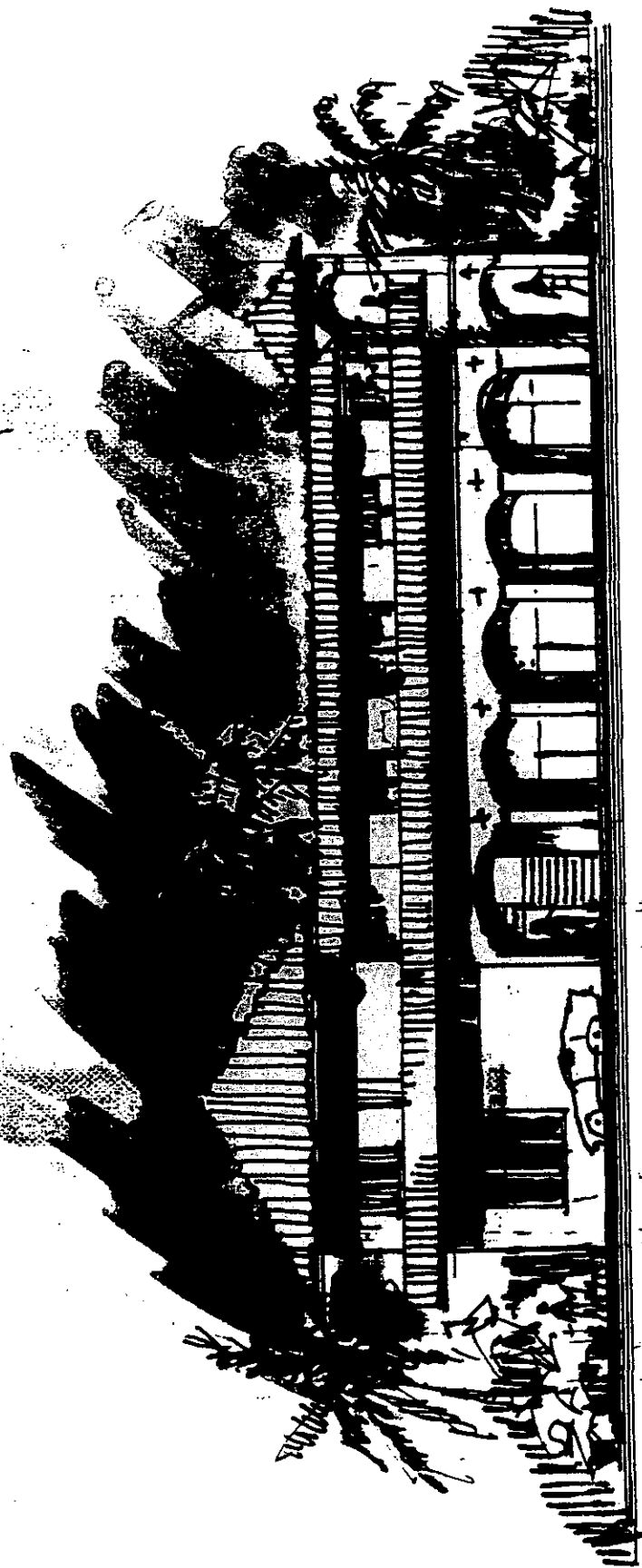
SECT 'B'



BY EBZOWS

GRND. FLOOR PLAN

NTS



FRONT ELEVATION

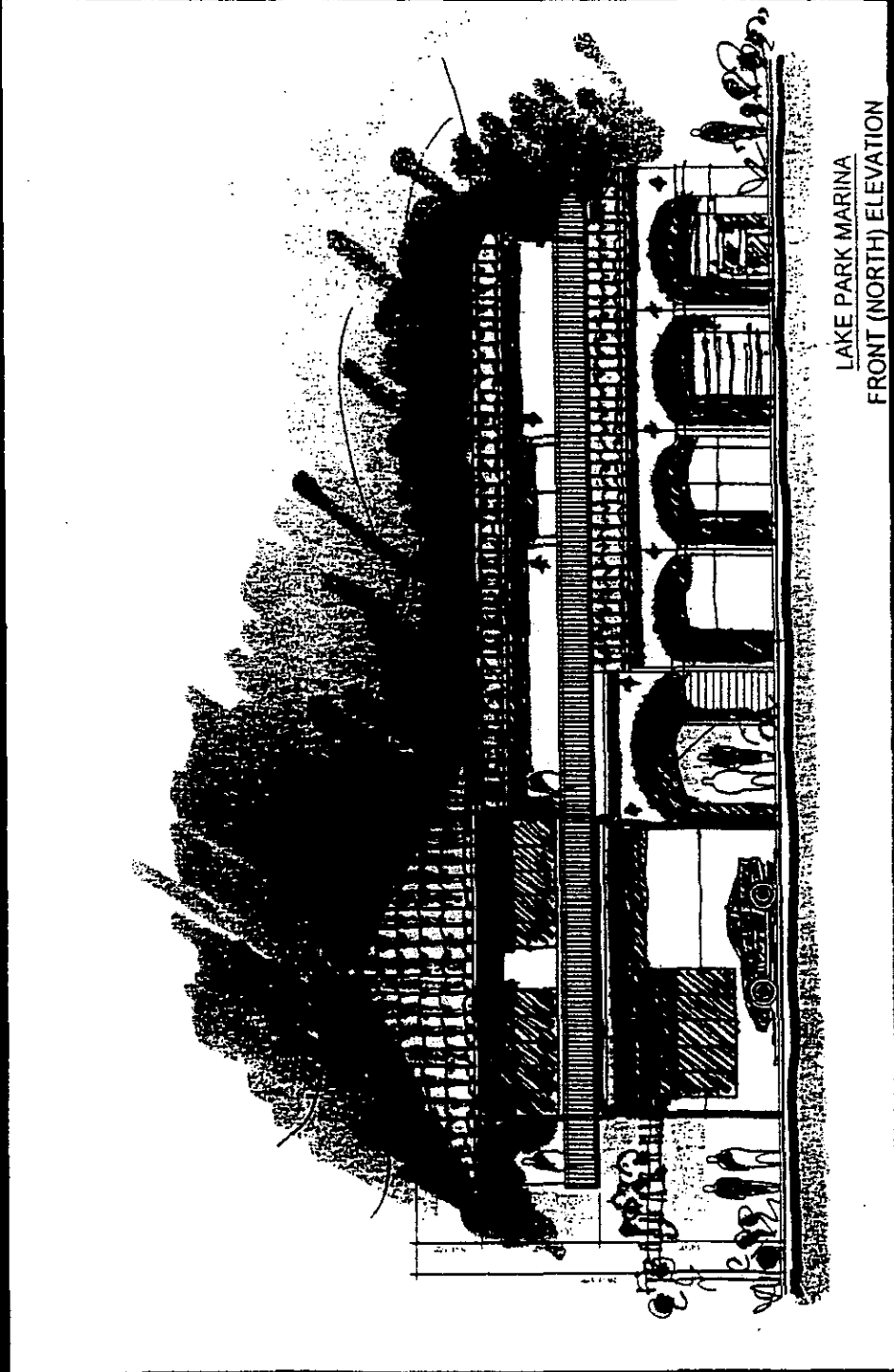
NTS



SIDE ELEVATION

NTS

Lake Park Marina, Conceptual Front Elevation



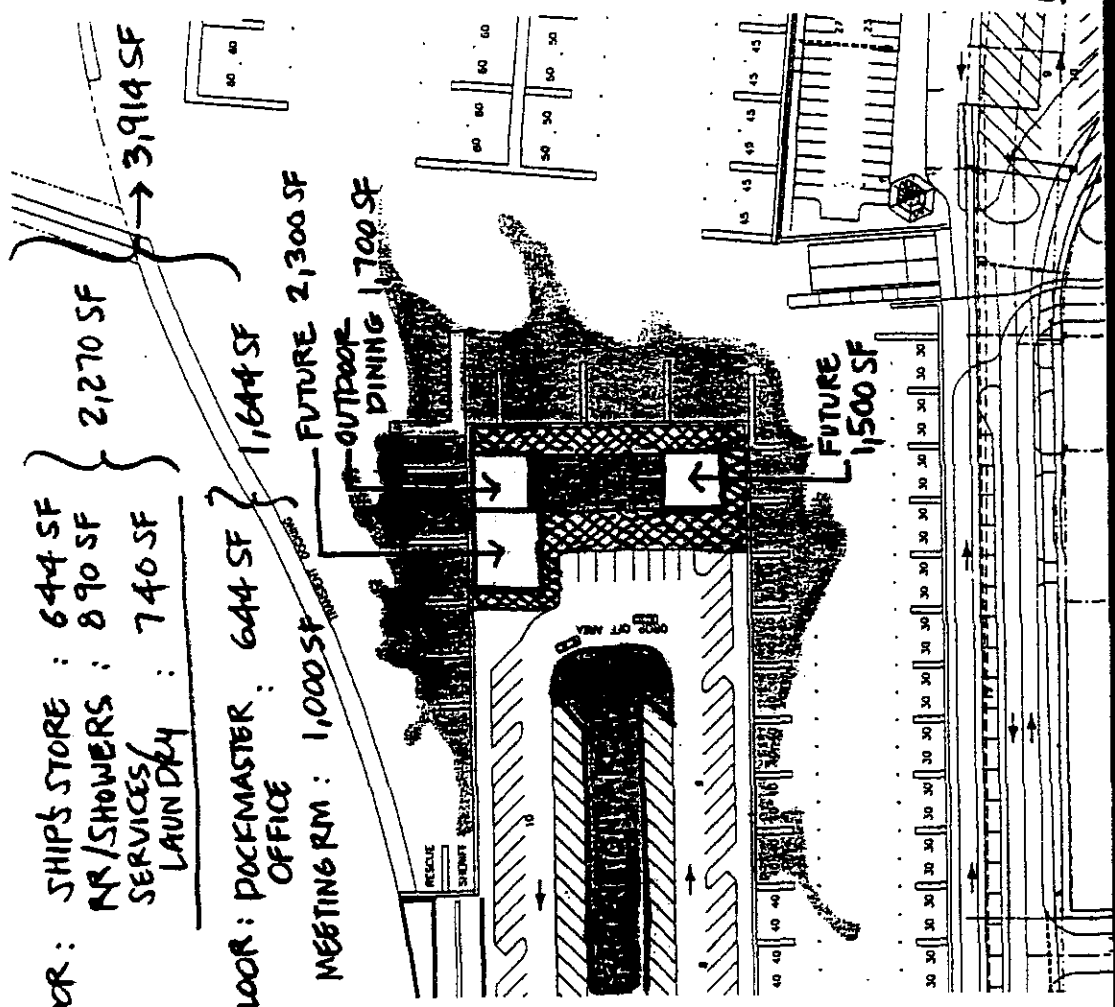
LAKE PARK MARINA
FRONT (NORTH) ELEVATION

Lake Park Marina, Site Plan

Tabulation

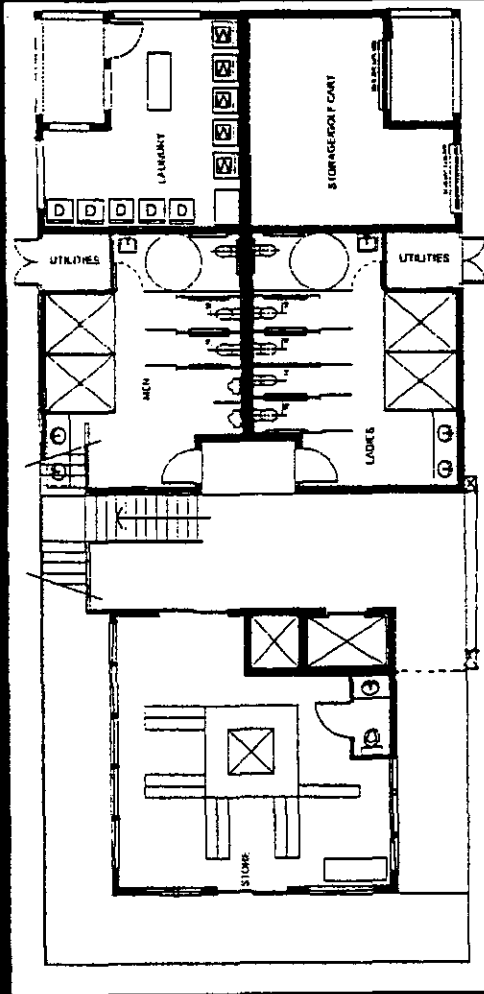
FIRST FLOOR: SHIP'S STORE : 644 SF
 NR./SHOWERS : 890 SF
 SERVICES/ LAUNDRY : 740 SF
 } 2,270 SF
 } → 3,914 SF

SECOND FLOOR: DOCKMASTER : 644 SF
 OFFICE : 1,644 SF
 } 1,644 SF
 }
 MEETING RM : 1,000 SF
 }
 } FUTURE 2,300 SF
 }
 } FUTURE 1,700 SF



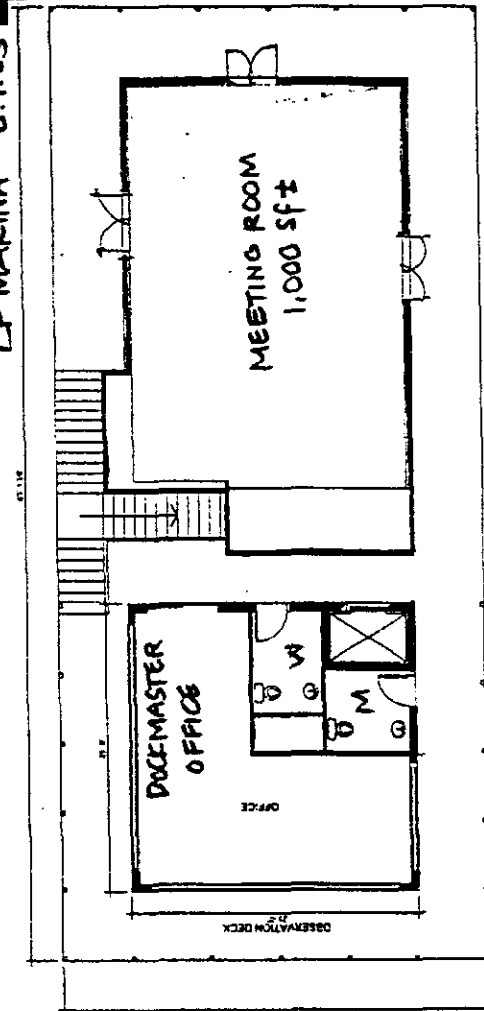
LP MARINA
 8/7/03

Lake Park Marina, Floor Plans



CONCEPTUAL PLAN
FIRST FLOOR
 LP MARINA 8.7.03

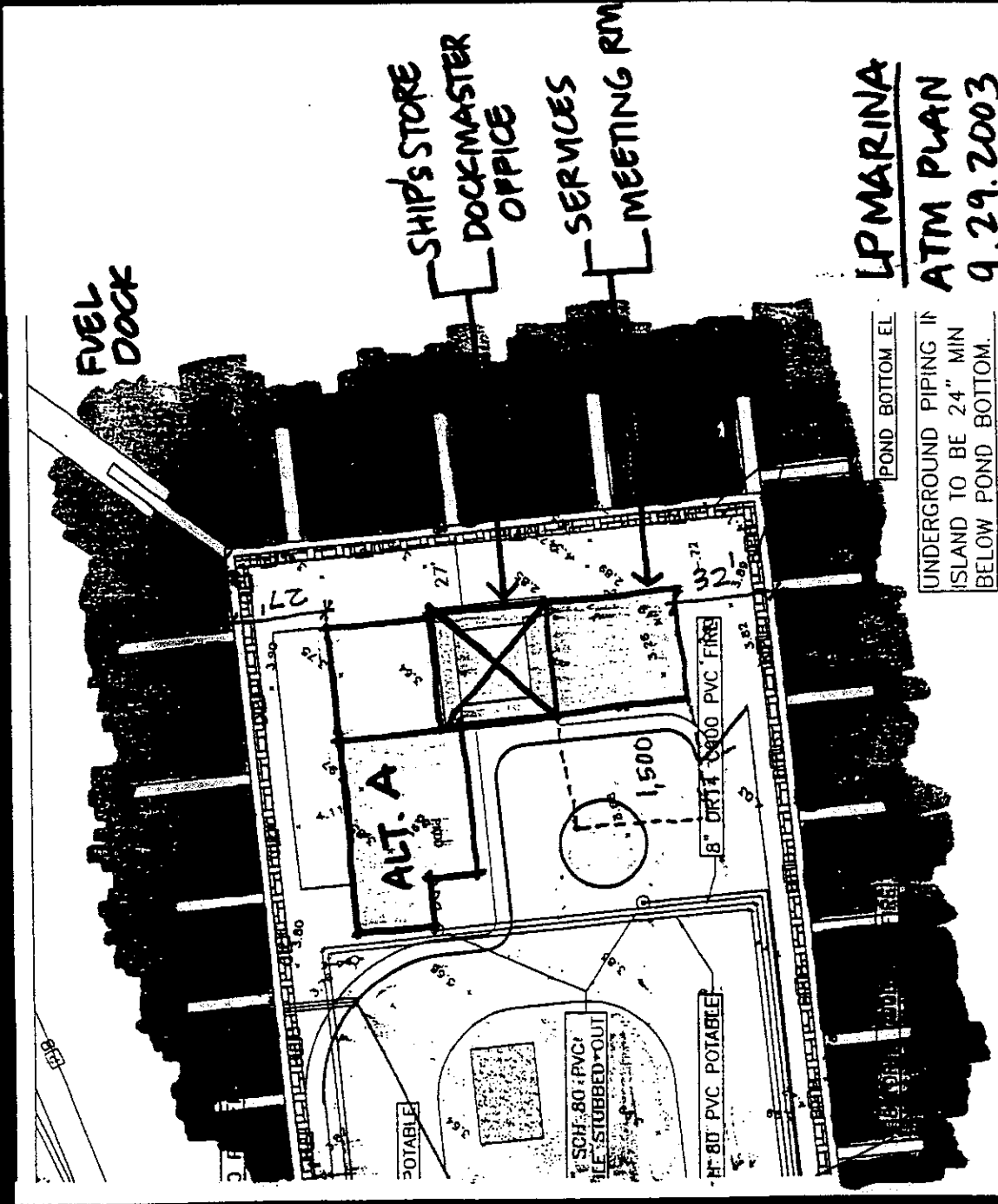
First Floor



CONCEPTUAL PLAN
SECOND FLOOR
 LP MARINA 8.7.03

Second Floor

Lake Park Marina, ATM Plan

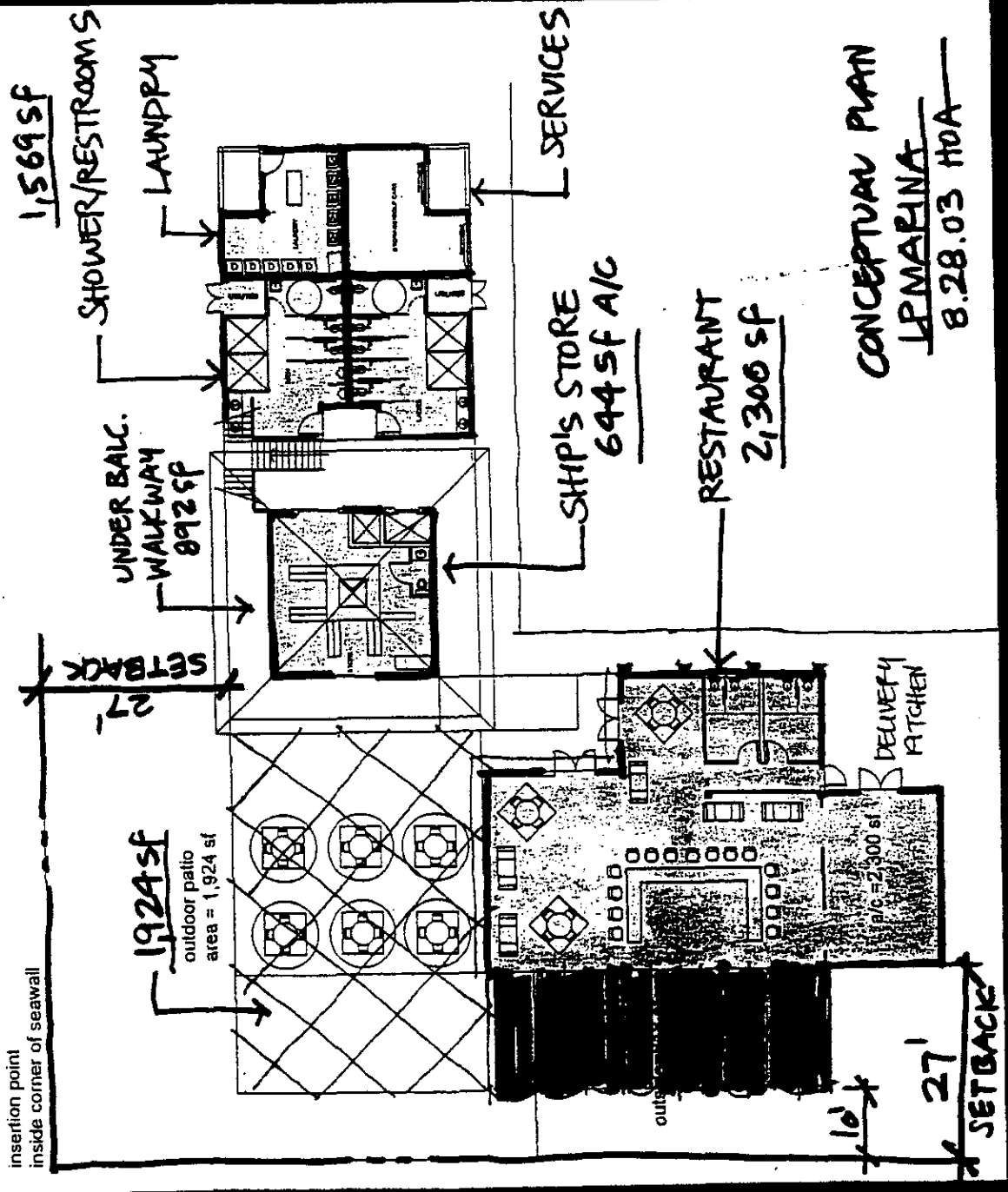


LP MARINA
ATM PLAN
9.29.2003

POND BOTTOM EL.
 UNDERGROUND PIPING IN ISLAND TO BE 24" MIN BELOW POND BOTTOM.

BY DDC/DV DATED

Lake Park Marina



Section 5

Section 5

Town of Lake Park
Dock Masters and Boat Ramp Building
Overview

A more detailed set of project specifications is included in our bid package for your review and comparison to your envisioned scope, finishes and quality.

I will provide you with individual sections to highlight our design and cost analysis.

- Due to the soil conditions outlined in the Dunkelberger report of June 3, 2000, pilings are required for both buildings. Based on the requested design, the project requires 109 pilings, 12" x 12" by 25 ft. in length, for the Dock Masters Building and 6 pilings, 12" x 12" by 25 ft. in length, for the ramp building.
- Building scale has been revised to reflect required clearances for overhangs and elevator clearance of 12'-6" from second floor to bottom of elevator lid.
- We have utilized a 9" concrete filigree slab system due to the requirements of masonry walls for both first and second floors.
- Wood trusses have been utilized for the second floor roof system.
- Water heaters that are instant hot and only require gas heat have been utilized in the design.
- The required second set of stairs has been provided and added as a design feature of the building. See our architectural elevation sketches.
- Security, fire alarm and telephone system (CAT5 wiring with jacks) have been provided.
- Air conditioning compressors have been located at ground level for ease of maintenance.
- Bronze or white aluminum picket railing has been provided for reduced building maintenance.
- Large bathrooms have Ashford Formula (see attached literature) floor coating, ½" thick light texture stucco on walls with an epoxy paint finish floor to ceiling. Ceiling will receive one (1) coat sealer with one (1) stipple coat enamel.
- Finishes for the laundry area are the same as detailed for the restrooms.
- Two (2) 6'w x 8'h overhead doors and one (1) 3070 personnel door have been provided for the main storage area.
- All exterior doors are 18 gauge door leafs and 14 gauge channels. Doorframes are 16 gauge.

- Marble windowsills have been provided.
- A 2' x 3' Directory board at the first floor has been provided.
- Desired 14'-0" floor height to second floor has been utilized as requested.
- 908 s.f. of exterior sidewalk / A/C stoop and 594 s.f. of apron adjacent to the building at the first floor have been provided.
- Pilings, pile caps, reinforcement have a \$ 80,000.00 impact on the construction costs.
- Cost savings can be realized if the following items are allowed:
 - A. Reduce first floor to second floor to 12'-0" height in lieu of 14'-0".
 - B. Town works with Design/Build firm to revise building elevations.

**SPECIFICATIONS FOR
TOWN OF LAKE PARK
DOCK MASTERS & BOAT RAMP FACILITY
TOWN OF LAKE PARK, FLORIDA**

DECEMBER 8, 2003

01 GENERAL CONDITIONS

A. Owner shall be responsible for the following:

1. FPL deposit or service fees.
2. Water and sewer deposit fees.
3. Phone system or computer system, if applicable.
4. Owner signage.
5. Permit, impact and zoning fees.
6. Water and sewer impact fees.
7. Racking and shelving.
8. Appliances.
9. Landscape plan.

B. Ahrens shall be responsible for the following:

1. Project supervision.
2. Architectural/engineering drawings which will include the following:
 - a. Site location plan and utility plan.
 - b. Foundation plan.
 - c. Required wall sections.
 - d. Door/finish schedules.
 - e. Electrical plan.
 - f. Architectural elevations.
 - g. HVAC plan.
 - h. Plumbing plan.
 - i. Energy calculations.
3. Temporary construction toilet, electric, water and construction trailer.
4. Project site clean-up.
5. Finish clean-up to include:
 - a. Removal of all construction material and equipment.
 - b. Broom sweep interior.
 - c. Clean fixtures in restrooms.
 - d. Wipe down finishes.

- e. Clean all glass.
- f. Vacuum carpet.
- g. Clean VCT flooring.
6. Six percent (6%) Florida Sales Tax.
7. Assumed foundation design based on Dunkelberger soil borings.
8. Building layout, tie-in as-built and finish floor certifications by a certified land surveyor.
9. Sidewalk layout and As-built survey.
10. Backflow preventer for water service.
11. Builder's Risk Insurance.
12. Construction schedules monthly.
13. Fill compaction testing.
14. Concrete testing with 4 cylinder tests per every 75 c.y.'s.
15. Payment and Performance Bond.
16. Independent A/C test and balance.
17. Weekly safety meetings/
18. Close-out manual

C. Allowances:

1. Flooring Dock Master:
2. Flooring Boat Ramp Facility:
3. Light fixtures Dock Master: \$ 13,500.00
4. Light fixtures Boat Ramp Facility: \$880.00
5. Brick Pavers 1,924 s.f.: \$6,736.00

02 SITWORK

A. Ahrens shall be responsible for the following:

1. Clearing and grubbing of site as per Dunkelberger Report, assumed no excavation of soil material.
2. Building layout by a certified land surveyor.
3. Finish grading building slab.
4. Termite soil poisoning building slabs. Provide one (1) year warranty.
5. On site concrete:
 - a. Area: A/C pad, perimeter sidewalk, interior walkway.
 - 1) Quantity: 1,502 s.f. Dock Master, _____ s.f. Boat Ramp
 - 2) Thickness: 4".
 - 3) Reinforcing: Fiber mesh.

- 4) Finish: light broom.
6. Siltation fencing as follows:
 - a. Dock Master 470 l.f.
 - b. Boat Ramp: 120 l.f.
7. 12" X 12" 25' concrete driven piles as follows:
 - a. Dock Master: One hundred nine plus one test pile
 - b. Boat Ramp: Six plus one test pile

03 CONCRETE

A. Ahrens shall be responsible for the following:

1. Foundation design per Xuan Chen, Civil Engineer.
2. Grade 60 reinforcing steel.
3. Required expansion joint
4. Control joints for building slab.
5. Slab reinforcement: 1.5#/c.y. fibermesh.
6. Concrete as follows:
 - a. 3500 p.s.i. grade: Ground slabs and filigree slab.
 - b. 3000 p.s.i. grade: Filled masonry cells columns and beams.
7. Concrete finishes as follows:
 - a. Interior: Hard trowel finish.
 - b. Exterior: Light broom finish.
8. Concrete slab thickness as follows:
 - a. 4": All concrete.
9. Ashford formula restrooms, storage rooms, laundry room and Boat Ramp floors.

04 MASONRY:

A. Ahrens shall be responsible for the following:

1. Standard 8" x 8" x 16" masonry units with Duro-wall horizontal reinforcement every third course.
2. Concrete masonry units (CMU) to be first quality "A" grade cured units or proper shapes and sizes for each application. Broken, cracked, chipped or warped units will be rejected.
3. Use clean sand and water with Type "M" or "S" Portland cement mixed to proper consistency and proportions to achieve best bond between units used.

4. Brace walls as required during construction until walls are permanently tied to structure and/or cured to design strengths.
5. Install vertical steel reinforcing rods in CMU cores filled full with concrete, full height of wall from footings, as per drawings.
6. Set all masonry in full bed and head mortar joints, shoving unit into place, squeezing mortar out of joints and excess mortar immediately struck smooth with masonry units' faces. Voids in any mortar joints will be rejected and units removed and replaced without delays at contractor's expense. Lay units plumb and level.
7. Interior joints are sponge finish.

05 METALS

A. Ahrens shall be responsible for the following:

1. Steel primed pan stairs and landings.
2. 286 l.f. of 42" high aluminum picket rail.
3. Required concrete imbeds.

06 CARPENTRY

A. Ahrens shall be responsible for the following:

1. Cabinetry as follows:
 - a. Main Restrooms:
 - 1) Two (2) counter tops at 9'-0" long.
 - 2) Plastic laminate surfaces.
 - 3) Plywood substrate.
 - 4) 4" backsplash.
 - 5) 4" skirt.
 - 6) Fasten to masonry.
 - b. One (1) plywood telephone board painted black.
 - c. Wood trusses for Dock Masters roof, Boat Ramp Facility, exterior stair well with 3/4 " CDX plywood.
 - d. Flat wood trusses over meeting room with 5/8" CDX plywood.
 - e. Facia trusses as required.
 - f. Cedar wood facia trim.

07 MOISTURE PROTECTION

A. Ahrens shall be responsible for the following:

1. One (1) coat Acuricon concrete hardener/sealer for area not receiving Ashford Formula.
2. 6 mil visqueen vapor barrier under building slab.
3. Conventional insulation as follows:
 - a. All ceilings are 9'-0" high, except those not receiving ceilings.
 - b. Provide five foil insulation building perimeter
 - c. Provide 6" R-19 Kraft faced batt insulation above acoustical ceilings in storage rooms.
4. Roof jacks for plumbing vent penetrations.
5. Built-up roof with 1.3" composite board under layment.
6. Clay roof tiles with code compliance under layment.
7. Required fire caulking or safing.

08 DOORS, WINDOWS & GLASS

A. Ahrens shall be responsible for the following:

1. Storage roll-up doors as follows:
 - a. Two (2) 6'-0"w x 8'-0"h roll-up doors.
 - b. Exterior finish: Standard color
 - c. Accessories:
 - 1) Manual operator.
 - 2) Interior slide locks.
 - 3) Bottom gasket and weatherseals.
 - 4) 140 M.P.H. wind load design.
2. Hollow metal doors/frames as follows:
 - a. Twenty five (25) 3'-0" x 7'-0" x 1 $\frac{3}{4}$ " flush hollow metal door leafs, 18 gauge.
 - b. Seventeen (17) 6'-4" x 7'-4" 16 gauge one-piece welded assembly frames with mitered reinforced corners.
3. Finish Hardware as follows:
 - a. It is intended that the hardware listed below will provide an example of all finish hardware to complete the project. Any hardware not specified herein shall be provided and be modified to that specified for similar openings.
 - b. Products
Butts

Manufacturer
Stanley

| | |
|--|-----------------------|
| Lockset/Cylinders | Cal Royal |
| Closers | Monarch, Russwin, LCN |
| Stops, Push/Pull Plates, Kick Plates, Silencers | H.B. Ives |
| Flush Bolts | |
| Thresholds | Pemko |

4. Windows as follows:
 - a. Quantity: Twelve (12).
 - b. Type: Impact.
 - c. Size: 5'-0"w x 5'-0"h.
 - d. Frame: White or bronze aluminum.
 - e. Glass: Standard bronze tint.

09 FINISHES

A. Ahrens shall be responsible for the following:

1. Painting as follows:
 - a. Drywall ceilings in restrooms, interior and exterior doors and frames, stucco, interior masonry except for storage room and equipment rooms which are unfinished.
 - b. Caulking of all joints between doors, window frames and drywall.
 - c. Color schedule: to be selected.
 - d. Painting and finish schedule:
 - 1) Hollow metal doors and frames: Alkyd prime coat and two finish coats
 - 2) Drywall: Prime coat and two finish coats epoxy.
 - 3) Dock Master Restrooms
 - a. Primer and one (1) finish coat epoxy paint to bottom of floor system.
 - b. Ceiling one coat sealer with one (1) stipple coat enamel
 - 4) Stucco: One (1) coat primer and two (2) finish coats latex.
2. Suspended acoustical ceiling system as follows:
 - a. Store and A/C room:
 - 1) Ceiling board: Armstrong #769 square edge 2' x 4' x 5/8" lay-in.
 - 2) Insulation: Armstrong #2907 vinyl-faced fiberglass 2' x 4' insert.
 - 3) Suspension system: Armstrong prelude exposed 15/16" grid with angle wall molding. Color: white enamel.
3. Gypsum board ceiling systems as follows:
 - a. Suspended drywall ceilings: Tapered edge drywall, 5/8 inch thick on 3-

- 5/8 inch, 25 gauge metal studs at 16 inches on center. Moisture resistant wallboard in toilet rooms.
- b. Fastening and finishing: 1¼ inch self-tapping non-corrosive screw at 12 inches on center, joints of board finished with 2 inch joint tape covered with three (3) coats of spackling compound sanded smooth.
 - c. Trim and edging: 24 gauge galvanized steel
 - d. All framing securely braced to underside of roof structure by diagonal bracing above ceilings in corporate offices.
 - e. Ceiling heights:
 - 1) All areas: 9'-0".
 - f. Drywall ceilings:
 - 1) Dock Master office
 - 2) Meeting room.
4. Stucco as follows:
- a. Smooth stucco: 5/8" thickness
 - b. Light textured stucco: 5/8" thickness.
 - c. Expansion joint between base band and body.
 - d. Provide additional expansion joints as required.
 - e. Light textured stucco, 1/2" thickness, ground floor restrooms and laundry room.

10 SPECIALTIES

A. Ahrens shall be responsible for the following:

- 1. Toilet and bath accessories as follows:
 - a. All accessories shall be Bradley or an Ahrens approved substitute.
 - b. Eleven (11) toilet tissue dispensers, #5402.
 - c. Nine (9) wall mounted soap dispensers, #6542.
 - d. Two (2) 60"w x 42"h mirrors, #781.
 - e. Grab bars for six (6) handicap restrooms or stalls.
 - f. Four (4) towel rings.
 - g. Six (6) 18" x 24" tilt mirrors, #740.
 - h. Two (2) wall mounted soap dispensers, #6542.
 - i. Four (4) clothes hooks single.
- 2. Toilet partitions as follows:
 - a. All partitions to be formica, floor mounted and overhead braced as required.
 - b. Two (2) handicap stalls.
 - c. Six (6) regular toilet stalls.

- d. One (1) urinal screen.
3. One (1) 2' X 3' Directory Board at First floor Dock Masters Building.
4. Required handicap door signage.
5. Two (2) handicap shower seats.
6. Four (4) shower curtains and rods.
7. One (1) knox box.

11 EQUIPMENT

A. Ahrens shall be responsible for the following:

1. Fire protection specialties as follows:
 - a. Two (2) bracket mounted fire extinguishers, one in laundry and one in storage.
 - b. Extinguishers: Larsen's Manufacturing Company MP5-A (6 required).
 - c. Brackets: B-2 (2 required)
 - d. Four (4) semi-recess cabinets in each of the following:
 - 1) Sales: One (1)
 - 2) Dock Master: One (1)
 - 3) Meeting Room: Two (2)

12 FURNISHINGS (Not Used)

13 SPECIAL CONSTRUCTION (Not Used)

14 CONVEYING SYSTEMS

A. Ahrens shall be responsible for the following:

1. Elevator per attached.

15 MECHANICAL

A. Ahrens shall be responsible for the following:

1. Plumbing as follows:
 - a. Install PVC waste and vent piping, under floor, through roof, tie into sewer lateral.
 - b. Copper hot and cold water piping, Type "L" under floor, Type "M" above floor.

- c. Water service: 1½" PVC service to existing lateral. Setting of meter by Seacoast Utilities. All connection and service fees by Owner.
- d. 1" backflow preventer, Watts 009.
- e. Sewer service: Pumps per bid document.
- f. One (1) exterior hose bib.
- g. Fixtures as follows:
 - 1) American Standard cadet handicap toilets with open front seat, white, flush valve.
 - 2) American Standard cadet regular toilets with open front seat, white, flush valve.
 - 3) American Standard urinals, white, flushometer.
 - 4) American Standard wall hung handicap sinks, white, china, carriers, with Moen faucet.
 - 5) American Standard counter mounted sinks, white, china, with Moen faucet.
 - 6) Hot water heater.
 - 7) One (1) combination drinking fountain.
 - 8) Four (4) floor drains, faucets and shower heads for shower enclosure.
 - 9) Three (3) floor drains at Dock Masters building.
- h. Plumbing layout.
 - i. Condensate line routing, PVC for A/C system.
2. Ventilation system as follows:
 - a. Exhaust fans for restrooms and laundry room.
3. Venting of washing machines.
4. HVAC systems:
 - a. 4 tons Meeting Room
 - b. 1.5 tons Dock Master Office
 - c. 2 tons Sales Office
 - d. One (1) wall A/C unit attendant/services.

16 ELECTRICAL

A. Ahrens shall be responsible for the following:

1. Electrical as follows:
 - a. We hereby propose to furnish labor and materials necessary to provide the electrical installation as specified in accordance with the following qualifications and conditions for contract. These conditions for contract are attached and made part of this proposal. All labor and material to be performed in accordance with the drawings/specifications given to

electrical contractor.

b. Scope of work:

- 1) Electrical Diagram see attached.
 - 2) Harbor Master building:
 - a. Three (3) A/C conn.
 - b. One (1) Elevator equipment hook-up including pit lights, GFI, SW
 - c. Thirty-four (34) Standard Duplex Rec.
 - d. Five (5) GFI Rec
 - e. Three (3) GFI WP Rec
 - f. One (1) gas dryer Rec
 - g. One (1) Washer Rec
 - h. Seventeen (17) SP Switches
 - i. Four (4) 8' Vaportight floor.
 - j. Twelve (12) 4' Vaportight floor.
 - k. Twenty three (23) 2 X 4 Lay-ins
 - l. Four (4) EM/EX combo
 - m. Four (4) EM
 - n. Two (2) EX W.P. Exterior
 - o. Four (4) EM W.P. Exterior
 - p. Twenty Four Exterior ceiling mount decorative - Natuical Type
 - q. Two (2) Ceiling mount globe fitures (Elevator room, Storage)
 - r. Eight (8) Tel/Data Stubs
 - s. One (1) Exterior lighting contractor/photocell
 - t. Five (5) Exhaust fan connetions
 1. Two (2) EF-1 800 CFM
 2. One (1) EF-2 50 CFM
 3. Two (2) EF-3 200CFM
 - 3) Ramp Attendant Bulding:
 - a. Four (4) Standard duplex rec
 - b. Two (2) GFI Rec
 - c. One (1) wall mount A/C
 - d. One Tel/Data stub
 - e. Three (3) SP Switch
 - f. Four (4) 4' vaportight fixtures
 - g. Two (2) Exterior ceiling mount decorative ficture
 - h. 100 CFM Exhast fans.
2. Phone system:
 - a. Cat 5 wiring with jacks
 - b. Standard punch-down at BST Backboard
3. Fire Protection System:

Specifications for
Town of Lake Park
Dock Masters Building
December 8, 2003

- a. One (1) FACP
- b. Three (3) Pull stations
- c. Three (3) Horn/Strobes
- d. Four (4) Strobes
- e. Two (2) Heat det.
- f. Two (2) det.
- g. Two (2) Smoke det.
- h. One (1) Duct det with remote test sw
4. Security system: Basic system (All doors, motion sensors)
5. Service Diagram: See attached.

Schindler Elevator Corporation

Hydraulic Elevator Specification Summary

**Lake Park Marina
x
Lake Park, FL 33404**

Sales Rep Info - S540

**Mike Thomas
Phone: (954) 626-5582
Fax: (954) 626-5599
13800 Northwest 2nd Street
Suite 140
Sunrise, FL 33325-6232**

**Negotiation #: 568854-A-A
Job(s) in Estimate: 01
Job Bank: 01
Job Code: 113
Job Office: 6640
Installation Office: 6640**

| | | | |
|-----------------------|---------------------------|------------------------|---------------------------------|
| Operation: | Microprocessor Single Car | Opening Size: | 3 Ft. 6.00 In. X 7 Ft. 0.00 In. |
| Application: | 330A Holeless Single Jack | Cab Height: | 8 Ft. 0 In. |
| Service: | General Purpose | Cab Type: | 125-330A |
| Capacity: | 2500 Lbs | Pit Depth: | 4 Ft. 0 In. |
| Speed: | 125 FPM | Overhead: | 12 Ft. 3 In. |
| Travel: | 14 Ft. 0.00 In. | Platform Width: | 7 Ft. 0 1/4 In. |
| Future Travel: | None | Platform Depth: | 5 Ft. 4 In. |
| Steps: | 2 (2 Front / 0 Rear) | Hatch Width: | 8 Ft. 4.00 In. |
| Doors: | Single Speed Side Opening | Hatch Depth: | 6 Ft. 0.00 In. |
| Power Supply: | 208 Volts 60 Hz | Seismic Zone: | 0 |

Schindler

| <u>Cab:</u> | <u>Features:</u> | <u>Entrances:</u> |
|---|--------------------------------|-----------------------|
| Cab Panels: Plastic Laminate | Audible Gong (Std) | Doors: |
| Cab Walls: Baked Enamel | Low Oil Bypass (Std) | (2) Baked Enamel |
| Cab Base: None | Infrared Door Protection (Std) | Frames: |
| License, Frieze, Reveal: None | Phase Monitor Relay (Std) | (2) Baked Enamel |
| Front Return, Transoms: #4 Stainless Steel | Independent Service/HES (Std) | Sills: |
| Cab Doors: #4 Stainless Steel | Across The Line | (2) Aluminum |
| Finishing: SC02 Removable Flat | Adjacent Machine Room | Sill Mounting: |
| Cab Threshold: Aluminum | Shutoff Valve Qty: 2 | (2) Easy Match |
| Threshold Extension: Not Required | Muffler | |
| Handrail Type: Flat (1/2" x 2") | QKS16 Door Operator | |
| Handrail Finish: #4 Stainless Steel | 9 Pound Rails Required | |
| Handrail Location: Rear | Keyed Emergency Stop Switch | |
| Handrail Row Qty: 1 | ADA Compliant Phone | |
| Platform Recess: 0.375 | Sliding Guide Shoes | |
| Protective Pads: None | 1 Speed Fan | |
| Cab Finished Floor: Carpet By Others | Firefighter's Service Phase 2 | |
| | Class B Fire Rating For Cab | |
| | Larger Tank | |
| | Emergency Escutcheons | |
| | Pressure Switch | |
| | Hush Kit | |

Cab Fixtures:
Finish: HT
Finish: Black Lexan with #4 Stainless Steel
 (1) L.E.D. Car Position Indicator
 Working Service Panel
 (1) Car Lantern(s)
 Certificate Frame

Hall Fixtures:
Corridor Fixtures Type:
 HT-Jamb Mounted
Corridor Fixtures Finish:
 (1) Lexan Top Term PB Front
 (1) Lexan Bot Term PB Front

New Product Service:

3 Months, 8 Hours Callback

This bid is subject to change after sixty (60) days.

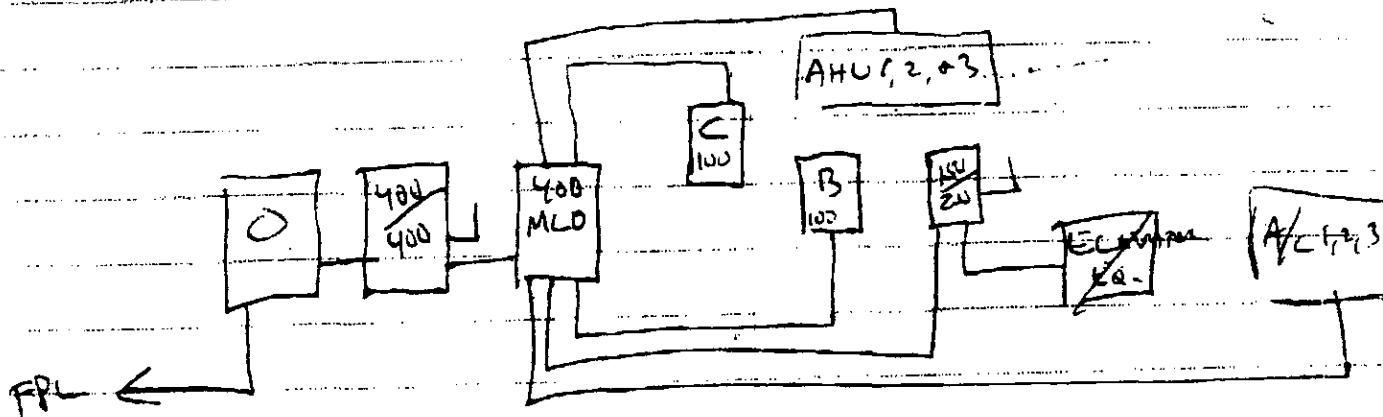
Visit Our Website at www.us.schindler.com

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DOCK MASTER BUILDING

I SERVICE

- 400 AMP, 3 ϕ , 120/208 VOLT METER/DISC/PANEL
- 100 AMP SUB PANEL "B" - SHIP STORAGE 1ST FL
- 100 AMP SUB PANEL "C" - DOCK MASTER 2ND FL
- 150 AMP SERVICE TO ELEVATOR



- FPL TRANSFORMER WITHIN 60' OF BLDG.

- SBT / CATV TO BUILDING (CONDUITS ONLY)
EXTENSION OF EXISTING CONDUITS ON SITE