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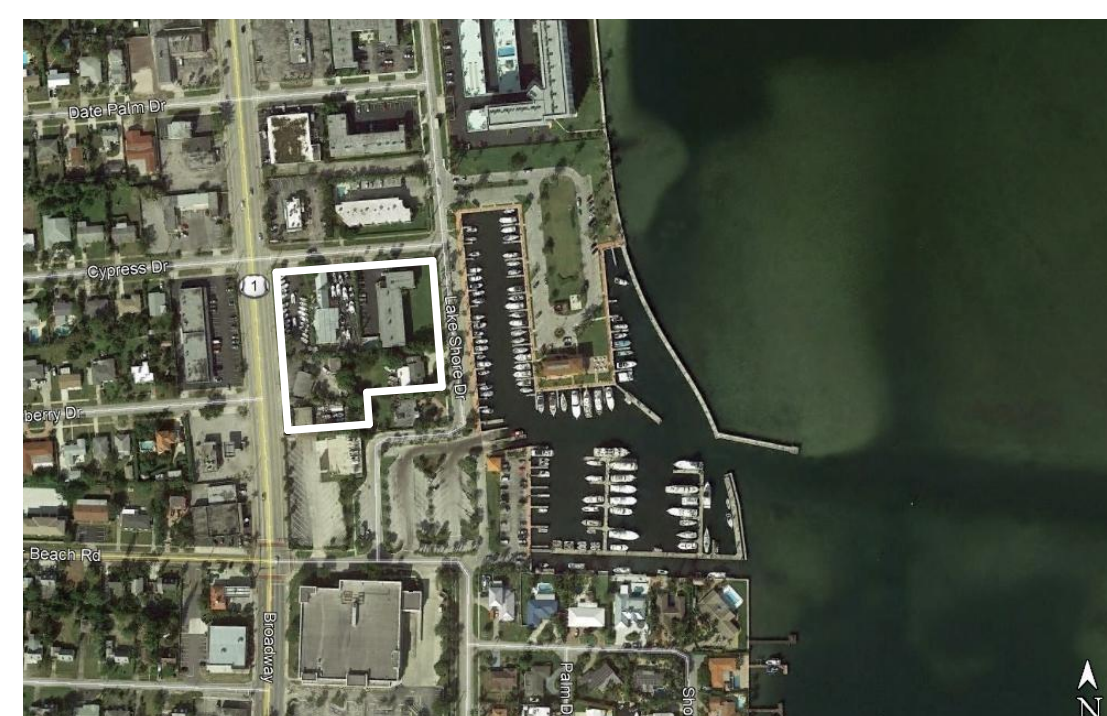
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# NAUTILUS 211 - MIXED USE

## SITE PLAN APPROVAL SET - NOVEMBER 25, 2019



LOCATION MAP

NOT TO SCALE

### DEVELOPMENT TEAM :

DEVELOPER

FOREST DEVELOPMENT, LLC  
1571 NE 45th ST.  
FT. LAUDERDALE, FL 33334  
954

OWNER'S REPRESENTATIVE

ZABIK & ASSOCIATES, INC.  
11398 OKEECHOBEE BLVD. SUITE 2  
ROYAL PALM BEACH, FL 33411  
561-791-2468

ARCHITECT

RD ARCHITECTS  
1800 SW 1st AVE. SUITE 607  
MIAMI, FL 33129  
786-762-2679

LANDSCAPE ARCHITECT

INSITE STUDIO, INC.  
8144 OKEECHOBEE BLVD. SUITE A  
WEST PALM BEACH, FL 33411  
561-249-0940

CIVIL ENGINEER

SIMMONS & WHITE, INC.  
2581 METROCENTRE BLVD. SUITE 3  
WEST PALM BEACH, FL 33407  
561-478-7848

SURVEYOR

BASELINE LAND SURVEY, LLC  
1400 NW 1st CT.  
BOCA RATON, FLORIDA 33432  
561-417-0700

PROJECT:

# Nautilus 211

SITE PLAN SUBMITTAL

211 US-1 Lake Park Florida 33403

PROJECT OWNER:

### Forest Development LLC

1571 NE 45th Street Fort Lauderdale Florida 33334

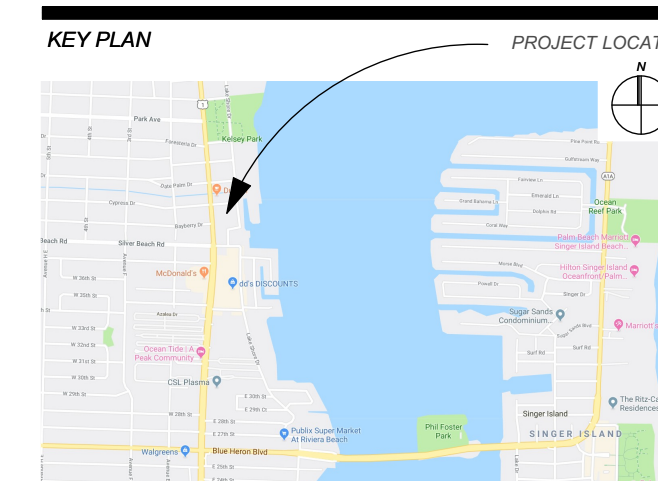
ARCHITECT OF RECORD:



### RD Architects

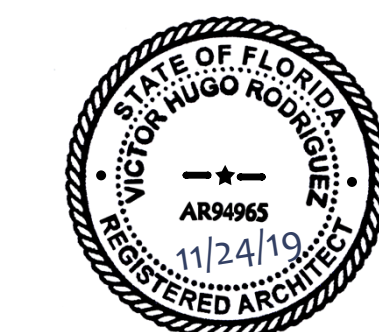
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Miami, Florida 33129  
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www.rda-archint.com / AA26002510

CONSULTANT:



SIGNATURE / DATE / SEAL

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Victor H. Rodriguez,  
Registered Architect  
State of Florida # AR0094965

Issue: Issue Date / For  
November 24, 2019 SITE PLAN APPROVAL SET

RDA Project #: 2019-001

Drawn by: O. E. N.

Approved by: V. B. N.

SHEET INDEX

# COVER SHEET

SCALE :

SHEET NO.

# A0.00

SITE PLAN SUBMITTAL

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CODE REFERENCE

NOTE: THE FOLLOWING CODES HAVE BEEN USED FOR CROSS-REFERENCE TO COMPILE THIS LIST. THE MOST STRINGENT OF CODES SHALL BE USED. PLEASE BE ADVISED THAT THE AUTHORITY HAVING JURISDICTION SUPERSEDES ALL CODES.

Table listing various building codes and standards such as Florida Building Code, N.F.P.A. 101, 2017 6th Edition Florida Accessibility Code, etc.

NOTE: THE GENERAL CONTRACTOR AND THEIR SUB-CONTRACTORS REMAIN RESPONSIBLE FOR ASSURING THAT ALL INSTALLATIONS MADE AS PART OF OR IN ASSOCIATION WITH THIS PROJECT ARE TO PROCEED IN STRICT COMPLIANCE WITH ANY AND ALL APPLICABLE CODES, ORDINANCES OR REGULATIONS WHETHER REFERENCED HEREIN OR NOT.

- 1. AUTOMATIC SPRINKLER SYSTEMS
2. EGRESS DOORS
3. FIRE DOORS
4. MEANS OF EGRESS ILLUMINATION
5. COMMUNICATIONS
6. FIRE ALARM
7. FIRE COMMAND STATION
8. STAND-BY POWER

CODE DATA

Table containing occupancy type (R-2 Residential), construction type (Type I-A), max. area per floor, no. of stories, building height, structural frame fire resistance, maximum area of exterior wall openings, egress & life safety requirements, occupancy load calculations, fire protection and fire protection ratings for opening protectives, and fire & smoke separation.

LIFE SAFETY

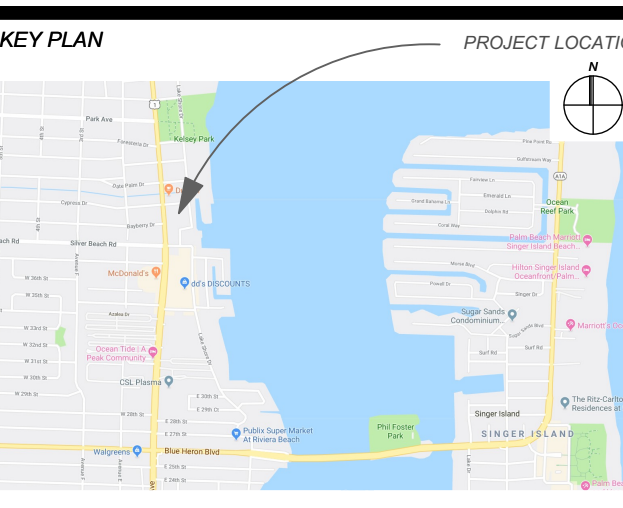
Interior Finish Classification table with columns for Occupancy, Exits, Access, and Other Spaces. Includes horizontal and vertical separation requirements.

Separation from Bldg Service Areas table with columns for Condition and Separation. Includes signage requirements for exits and elevators.

LIFE SAFETY SUMMARY
THE FOLLOWING IS A SUMMARY OF THE LIFE SAFETY ASSESSMENT. THESE SPECIFICATIONS AND GENERALIZATIONS ARE FOR THIS PARTICULAR PROJECT AT THIS PRESENT TIME. THESE IDEALS AND CODES MUST BE REVIEWED FOR APPROVAL. THEY ARE NOT TRANSFERABLE TO ANY OTHER PROJECT OR SCENARIO.

PROJECT: Nautilus 211 SITE PLAN SUBMITTAL
211 Federal Highway Lake Park Florida 33403
PROJECT OWNER: Forest Development LLC
ARCHITECT OF RECORD: RDA

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Victor H. Rodriguez, Registered Architect, State of Florida # AR0094965

Issue: November 24, 2019
SITE PLAN APPROVAL

RDA Project #: 2019-001
Drawn by: O. E. N.
Approved by: V. B. N.
SHEET INDEX

4 CODE DATA
SCALE:
SHEET NO.
A0.01

SITE PLAN SUBMITTAL

DEVELOPMENT DATA

Table with 2 columns: PROJECT SUMMARY and AREA & DATA. Rows include SITE AREA, BUILDING COVERAGE, RESIDENTIAL UNITS, TOTAL FLOORS / LEVELS, BUILDING HEIGHT, PODIUM ACTIVE LINER LEVELS, PODIUM HEIGHT, PODIUM PARKING SPACES, PODIUM RESID. UNITS, NORTH TOWER UNITS, SOUTH TOWER UNITS, TOWER SEPARTION ALLOWED MIN 60', TOWER SETBACK TO PRIMARY STREETS (MIN 20'), TOWER SETBACK TO SECONDARY STREETS (MIN 20'), TOWER SETBACK TO TERTIARY STREETS (MIN 10'), PODIUM PROVIDED SETBACK TO ALL STREETS (MIN 10'), RETAIL ACTIVE LINER TO PRIM., SEC. & TER. STREETS, RESTAURANT ACTIVE LINER TO SEC. & TER. STREETS, OFFICE/FLEX SPACE ACTIVE LINER TO PRIM. & TER. STREETS, PODIUM AMENITY DECK F.F. ELEVATION, ROOF TOP POOL DECK F.F. ELEVATION, TOP OF ROOF MECH. SCREENING (HIGHEST POINT OF ROOF), BALCONY & CANOPY PROJECTIONS OVER BLDG. SETBACKS, BALCONY & CANOPY PROJECTIONS OVER PROPERTY LINES, RAIN PROTECTIVE PEDESTRIAN CANOPY @ RETAIL STOREFRONT, STOREFRONT GLAZING (MIN. 50% OF WALL LENGHT REQ.), TOWER SEPARATION (MIN. 60 FT.).

Table with 2 columns: FLOORS / LEVELS and AREA BREAKDOWN. Rows include PODIUM, ACTIVE LINER USES (RESID., COMMERCIAL), PARKING & UTILITIES, TWO RESID. TOWERS (NORTH TOWER, SOUTH TOWER), and various tower floors (FIRST TOWER FLOOR to SEVENTEENTH TOWER FLOOR, ROOF / ROOF TOP AMENITIES), SUB-TOTAL (TOWERS), TOTAL RESIDENTIAL (TOWERS + PODIUM), TOTAL BUILDING (TOWERS + PODIUM + GARAGE).

PARKING DATA

Table with 7 columns: Description, Parking Ratio, Office, Retail, Restaurant, Residential, Parking Required. Rows include Retail (8,058 SF), Restaurant (14,550 SF), Office (13,000 SF), Residential, BASE PARKING REQUIRED: 759.

BASE PARKING REQUIRED: 759

Table with 6 columns: Required Residential Parking, 1 Efficiency, 2 1 Bedroom, 3 2 Bedroom, 4 3 Bedroom, 5 4 Bedroom, 6 Guest PKG. Rows include Required Residential Parking, Required Base Parking, Parking Required for Public Benefit, Total Parking Required, Parking Balance (+).

PARKING USE

Table with 7 columns: Parking Location, Surplus, Office, Retail, Restaurant, Residential, Public, Number of Stalls. Rows include STREET PKG, LEVEL A - P1, LEVEL B - P2, LEVEL C - P3, LEVEL D - P4, LEVEL E - P5, PARKING PROVIDED: 4, 26, 16, 146, 571, 100, 863.

PARKING MIX

Table with 7 columns: Parking Location, Parallet, Regular, Compact, Tandem, Handicap, Number of Stalls. Rows include STREET PARKING (included), LEVEL A - P1, LEVEL B - P2, LEVEL C - P3, LEVEL D - P4, LEVEL E - P5, PARKING PROVIDED: 7, 563, 101, 174, 18, 863, Parking Spaces Mix (0.8%, 65.2%, 11.8%, 20.1%, 2.1%, 100.0%).

BICYCLE PARKING CALCULATIONS

Table with 4 columns: Location, Bike Rack Area #, # Bicycles, Use. Rows include LEVEL A - P1, LEVEL A - P1, LEVEL B - P2, LEVEL B - P2, LEVEL C - P3, LEVEL D - P4, LEVEL E - P5, LEVEL E - P5, TOTAL B.P. PROVIDED: 44.

SECURE BICYCLE STORAGE CALCULATIONS

Table with 4 columns: Location, Secure Storage #, # Bicycles, Use. Rows include LEVEL B - P2, LEVEL B - P2, TOTAL S.B.S. PROVIDED: 36.

TOTAL BICYCLE PKG & STORAGE PROVIDED: 80 SPACES

TOTAL BICYCLE PKG & STORAGE REQUIRED: 76 SPACES

RESIDENTIAL UNIT MIX

Table with 12 columns: Type, Description, Unit Area, Terr. Area, Total SF, Unit Count (NORTH TOWER, SOUTH TOWER, PODIUM, Total), Bedroom Count (North, South, Podium, Total). Rows include A, Aa, B, Ba, Bb, C, Ca, D, J, Ja, K, L, M, N, P, Q, Sub Total, Project Totals.

OCCUPANCY LOAD CALCULATIONS

Table with 7 columns: Occupancy, Use, Gross Area, Net Area, Factor, Occupants, Total Occupants. Rows include LEVEL A, LEVEL B, LEVEL C, LEVEL D, LEVEL E, AMENITY LEVEL, TOWER TYPICAL (16) FLOORS, TOWER PENTHOUSE FLOORS, ROOF LEVEL NORTH TOWER, ROOF LEVEL SOUTH TOWER.

Nautilus 211

SITE PLAN SUBMITTAL

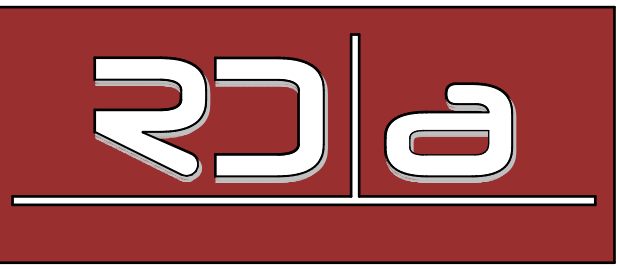
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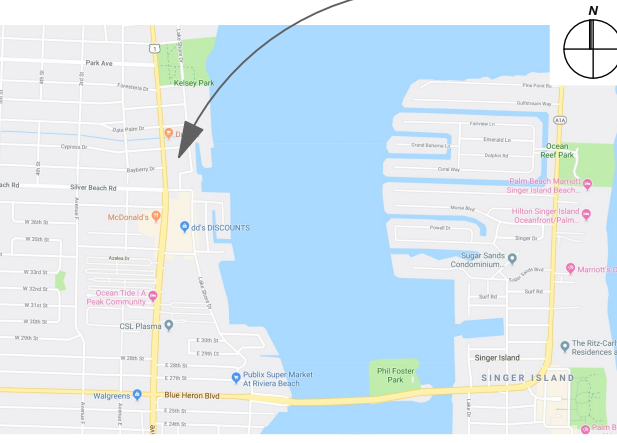


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CONSULTANT:

2

KEY PLAN



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Victor H. Rodriguez, Registered Architect, State of Florida # AR0094965

Issue: November 24, 2019 SITE PLAN APPROVAL

RDA Project #: 2019-001

Drawn by: O. E. N.

Approved by: V. B. N.

SHEET INDEX

4

DEVELOPMENT DATA

SCALE:

SHEET NO.

A0.02

SITE PLAN SUBMITTAL

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