1 of 1 SURVEY

SITE PLAN DRAWINGS

SP.1 SITE PLAN

SP.2 AMENITY DECK SITE PLAN
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RP.1 REGULATING PLAN

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A0.02 DEVELOPMENT DATA

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A1.04 PARKING LEVEL D

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A1.07 FLOOR 1

A1.08 TYPICAL FLOOR

A1.09 FLOOR 17 PENTHOUSE

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A1.11 TOP ROOF PLAN
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A2.03 EAST ELEVATION

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A2.13 COLOR ELEVATION EAST

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A3.02 BUILDING SECTION - B

A4.01 SUN SHADOW STUDY JUN - SEP

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A5.02 ENLARGED PLANS & DETAILS

LANDSCAPE DRAWINGS

TD.1 TREE DEPOSITION PLAN

LP.1 GROUND LEVEL LANDSCAPE PLAN

LP.2 AMENITY DECK LANDSCAPE PLAN
LP.3 ROOFTOP LANDSCAPE PLAN

LP.3 ROOFTOP

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LP.5 LANDSCAPE SPECIFICATIONS

LP.6 LANDSCAPE SPECIFICATIONS

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C-4 SITE DEVELOPMENT DETAILSC-5 SITE DEVELOPMENT DETAILS

...

PHOTOMETRIC PLANS

L1 GARAGE LEVEL A GROUND FLOOR LIGHTING

L1E GARAGE LEVEL A - EMERGENCY MODE

L2 GARAGE LEVEL B MEZZANINE LIGHTING

L2E GARAGE LEVEL B - EMERGENCY MODE
L3 GARAGE LEVEL C LIGHTING

L3E GARAGE LEVEL C - EMERGENCY MODE

L4 GARAGE LEVEL D LIGHTING

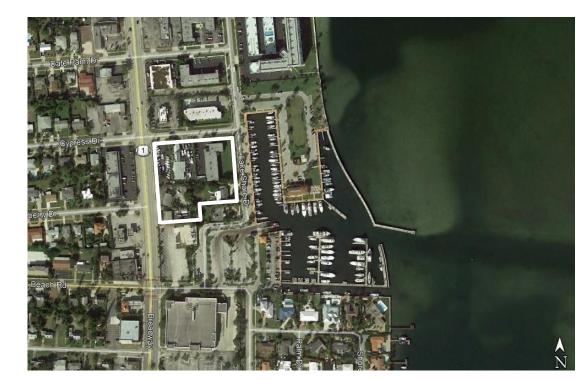
L4E GARAGE LEVEL D - EMERGENCY MODE
L5 GARAGE LEVEL E LIGHTING

L5E GARAGE LEVEL E - EMERGENCY MODE

L6 AMENITY LEVEL LIGHTING

L7 GROUND FLOOR CANOPY LIGHTING

L8 GROUND FLOOR STAIRWELLS LIGHTINGL9 ROOFTOP POOL AREA LIGHTING



LOCATION MAP

NOT TO SCALE

NAUTILUS 211- MIXED USE

SITE PLAN APPROVAL SET - NOVEMBER 25, 2019



DEVELOPMENT TEAM:

<u>DEVELOPER</u>

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LANDSCAPE ARCHITECT

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CIVIL ENGINEER

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SURVEYOR

BASELINE LAND SURVEY, LLC 1400 NW 1st CT. BOCA RATON, FLORIDA 33432 561-417-0700 PROJ

Nautilus 211 SITE PLAN SUBMITTAL

211 US-1 Lake Park Florida 33403

PROJECT OWNER:

Forest Development LLC

ARCHITECT OF RECORD:



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CONSULTANT:

PROJECT LOCA

N

Professor

Services

SIGNATURE / DATE / SEAL

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Víctor H. Rodriguez, Registered Architect State of Florida # AR0094965

ue <u>Issue Date / For</u>
November 24, 2019 SITE PLAN APPROVAL SET

November 24, 2019 SITE PLAN APPROV

RDA Project #: 2019-001

Drawn by: O. E. N.
Approved by: V. B.N.

SHEET INDEX

COVER SHEET

SCALE:

A0.00

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LIFE SAFETY

INTERIOR FINISH CLASSIFICATION

ACCESS

A OR B

A OR B

A, B, OR C

EXITS

A OR B

A OR B

OCCUPANCY

ASSEMBLY "A-3"

OFFICE "M"

STORAGE "S-1"

OTHER SPACES

A OR B

A, B, OR C

A, B, OR C

SITE PLAN SUBMITTAL

211 Federal Highway Lake Park Florida 33403

Forest Development LLC 1571 NE 45th Street Fort Lauderdale Florida 33334

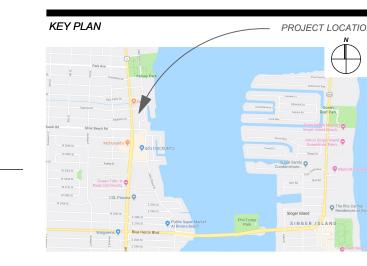
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Víctor H. Rodríguez, Registered Architect

State of Florida # AR0094965

<u> Issue Date / For</u> SITE PLAN APPROVAL

RDA Project #: 2019-001

Approved by: V. B.N.

SHEET INDEX

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CODE DATA OCCUPANCY TYPE (PER FBC 310.1 & NFPA 101 4-1.6) "R-2"- RESIDENTIAL **NEW RESIDENTIAL MULTI-FAMILY** CONSTRUCTION TYPE (PER FBC TABLE 601 & NFPA 8.2.1) TYPE I-A, FIRE SPRINKLERED MAX. AREA PER FLOOR PROVIDED - 28,463 S.F., ALLOWABLE - UL NO. OF STORIES PROVIDED - 23 STORIES , ALLOWABLE - UL **BUILDING HEIGHT** PROVIDED - 250', ALLOWABLE - UL AS PER FBC SECTION 403- BUILDING CLASSIFIED AS HIGH-RISE BUILDING STRUCTURAL FRAME FIRE RESISTANCE (PER FBC TABLE 601 & 602) FOR TYPE I-A, FIRE SPRINKLERED STRUCTURAL FRAME - column, girders, trusses 3 HOUR, 2 HOUR ALLOWED BEARING WALLS 4 HOUR, 4 HOUR ALLOWED 4 HOUR, 4 HOUR ALLOWED interior SEE FIRE SEPARATION DISTANCE BELOW 602 NONBEARING WALLS & PARTITIONS - exterior NONBEARING WALLS & PARTITIONS - interior _ AS REQUIRED BY CODE FLOOR CONSTRUCTION - beams & joists _ 3 HOUR, 2 HOUR ALLOWED ROOF CONSTRUCTION - beams & joists _ 1 1/2 HOUR, 1 HOUR ALLOWED FIRE SEPARATION DISTANCES _____ 3 HOUR < 5 FT. FROM P.L. >=5, < 10 FT. FROM P.L. _____ 2 HOUR >=10, < 20 FT. FROM P.L. _____ 2 HOUR >=20, < 30 FT. FROM P.L. _____ 1 HOUR >=30 FT. FROM P.L. _____ 0 HOUR MAXIMUM AREA OF EXTERIOR WALL OPENINGS (PER FBC TABLE 705.8) FOR FIRE SEPARATION DISTANCES >= 3 FT., <5 FT. FROM P.L. REQUIRED FOR UNPROTECTED OPENINGS W/SPRINK. 15% AREA OF EXTERIOR WALL PROVIDED 14% FOR FIRE SEPARATION DISTANCES >=5 FT., <10 FT. FROM P.L. 25% AREA OF EXTERIOR WALL REQUIRED FOR UNPROTECTED OPENINGS W/SPRINK. PROVIDED EGRESS & LIFE SAFETY REQUIREMENTS MAX. OCCUPANT LOAD PER RES. FLOOR _ 114 OCCUPANTS

MIN. NUMBER OF EXITS (FBC TABLE 1021.1) _ REQ'D = 2, PROVIDED = 2 EXIT TRAVEL DISTANCE (FBC TABLE 1016.1) 200 FT. 50 FT., PROVIDED 45 FT. MAX. DEAD END CORRIDOR (FBC 1018.4) COMMON PATH OF EGRESS TRAVEL (FBC 1014.3) EXIT WIDTH (FBC TABLE 1005.1 & NFPA 5.3.3) LEVEL = .2" /OCCUPANT MIN. EXIT CORRIDOR WIDTH (FBC 1018.2) 44" REQUIRED, 56" PROVIDED 7'-6" (6'-8" AT DOORS) EXIT CLEAR HEIGHT (FBC 1003, 1003.2 & 1003.3) MIN. STAIR WIDTH (FBC 1009.1) - REQUIRED > 50 OCCUPANTS - 44" < 50 OCCUPANTS - 36" PROVIDED HANDRAIL HEIGHT & REACH (FBC 1012 & 11-4.9.4) _ 34"- 38" MAX. HEIGHT

30" HORIZONTAL REACH TO INTERMEDIATE HANDRAIL. TREAD DEPTH - 11" MINIMUM STAIR DIMENSIONS (FBC 1009.4.2) RISER HEIGHT - 7" MAXIMUM & 4" MINIMUM

OCCUPANCY LOAD CALCULATIONS RESIDENTIAL OCCUPANCY LOAD ———— 3,540 OCCUPANTS (1/200) OCCUPANCY LOAD FOR (2) FUTURE RESTAURANTS — 520 OCCUPANTS (1/15) OFFICE/FLEX TENANT SPACE OCCUPANCY LOAD — 130 OCCUPANTS (1/100) RETAIL OCCUPANCY LOAD _____ 200 OCCUPANTS (1/30) TOTAL BUILDING OCCUPANCY LOAD ————— — 4,390 OCCUPANTS

FIRE PROTECTION AND FIRE PROTECTION RATINGS FOR OPENING PROTECTIVES

VERTICAL SHAFTS (FBC 708 & NFPA 8.3.4.2)

2-HR PROVIDED STAIRS (FBC 708) ELEVATOR SHAFTS (FBC 708.14 & NFPA 8.3.4.2) _ 2-HR PROVIDED LAUNDRY CHUTES (FBC 708.13 & NFPA 8.3.3.2) 2-HR WITH 1 1/2 HR FIRE DOOR ASSEMBLY - PROVIDED AUTOMATIC FIRE SPRINKLER SYSTEM (FBC 903) FIRE STANDPIPES SYSTEM (FBC 905.1& FBC 905.3.1) PROVIDED, CLASS I STANDPIPE SYSTEM FIRE ALARM SYSTEM (FBC 907.2.9, 907.2.10.2 & 907.2.11.2) _ PROVIDED, AUTOMATIC FIRE ALARM SYSTEM & EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM PROVIDED, SMOKE DETECTORS SMOKE DETECTORS (FBC 907.2.9) DISTANCE TO FIRE EXTINGUISHER (NFPA 10) _ 75 FT., MAX

PROVIDED - UNDER SEPARATE PERMIT

ORDINARY

CLASSIFICATION OF HAZARD OF CONTENTS (FBC 302) FIRE & SMOKE SEPARATION

GENERATOR

1-HR REQUIRED, 1-HR PROVIDED OCCUPANCY SEPARATION (PER FBC 508.4 & __ NFPA TABLE 6.1.14.4.1) _ 1-HR REQUIRED, 1-HR PROVIDED TENANT SEPARATION (PER FBC 709) _ 3 HOUR, NOT REQUIRED PARTY & FIRE WALLS (PER FBC 706) EXIT ACCESS CORRIDORS (FBC 1018) _ 1 HOUR, NOT REQUIRED

SMOKE DETECTORS APPROVED SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE SLEEPING AREAS IN THE VICINITY OF THE BEDROOMS.

10. VERTICAL PENETRATIONS VERTICAL PENETRATIONS SHALL BE OF 2 HOUR NONCOMBUSTIBLE CONSTRUCTION AND SEPARATION AND METAL LINED.

11. STAIR ENCLOSURE

AS PER NFPA 101-8.2.3.2 (NFPA 80) ENCLOSED EXIT STAIRWAYSSHALL UTILIZE 90 MIN SELF CLOSING DOORS AND MUST PROVIDE A PRESSURIZATION SYSTEM IN 2 HOUR SHAFTS IN ACCORDANCE WITH NFPA 101-7.2.2.5.4.1. STAIR IDENTIFICATION SIGNS SHALL BE PROVIDED FOR ALL STAIRWAYSSEE FBC SEC 1009.5.3.

1. EACH STAIR ENCLOSURE IS DESIGNED AS AN INDEPENDENT SMOKE PROOF ENCLOSURE. 2. CONTINUOUS 2 HOUR FIRE RESISTANT ENCLOSURE.

3. 90 MIN RATED SELF CLOSING FIRE DOOR.

GENERATOR SET. FBC. 1006.2.1.5

4. SMOKE PROOF DESIGN UTILIZES AN APPROVED ENGINEERED STAIR PRESSURIZATION SYSTEM 5. STANDBY POWER AND EMERGENCY LIGHTING PROVIDED BY AN APPROVED SELF- CONTAINED

ELEVATOR COMPONENT

ELEVATOR COMPONENT SHALL BE OF 2 HOUR FIRE RATED SHAFT, "ACCESSIBLE" AS PER ASME AND ANSI A17.1, MUST CONFORM WITH SECTION 707 OF FBC, BE APPROVED FOR FIREFIGHTER SERVICE AND SMOKE CONTROL. PROVIDED (PRESSURIZATION) AS PER NFPA 101-7.2.3.9 & 7.2.3.10 (REFER TO MECHANICAL DRAWINGS). AT LEAST ONE ELEVATOR PER TOWER SHALL PROVIDE STRETCHER REQUIREMENT AS PER FBC 3002 4 ALL ELEVATOR LOBBIES ON ALL FLOORS TO HAVE SIGNAGE STATING THAT "IN CASE OF AN

IN CASE OF EMERGENCY ALL ELEVATOR LOBBIES IN RESIDENTIAL TOWERS TO BE SEPARATED BY 1HR DOORS FROM THE EGRESS CORRIDORS.

EMERGENCY, DO NOT USE ELEVATORS, USE STAIRS", IN ACCORDANCE WITH FBC 3002.3

PARKING GARAGE

THE PROPOSED ENCLOSED PARKING GARAGE SHALL COMPLY WITH REQUIRED SEPARATION OF OCCUPANCIES TABLE 302.3.2, FBC AND SHALL BE SEPARATED FROM ALL OTHER OCCUPANCIES BY 2 HOUR RATING, TABLE 302.1.1

SMOKE CONTROL

ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH SMOKE CONTROL AS OUTLINED IN THE FBC SECTIONS 909 SMOKE CONTROL SYSTEMS.

WET FIRE HYDRANTS ARE REQUIRED PRIOR TO, DURING, AND AFTER CONSTRUCTION.

COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH NFPA 241

SIGNAGE

FLOOR AND ON EACH STAIR LANDING.

TACTILE SIGNAGE SHALL BE PROVIDED AT ALL STAIRWELLS

19. PORTABLE FIRE EXTINGUISHER REQUIREMENTS TO BE PROVIDED: AT ALL AREAS IDENTIFIED UNDER NFPA 10 & 13.6 FFPC AS PER NFPA 101-7.7.4.1 - ALL PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED AND

MAINTAINED IN ACCORDANCE WITH THE APPLICABLE STANDARD AND OR AS SPECIFIED BY

THE LOCAL AUTHORITY HAVING JURISDICTION. PROVIDE ONE- ARC TYPE "2-A" RATED FIRE EXTINGUISHER FOR EACH 3 000 SOLIARE FEET AND A MAXIMUM OF 75'-0" FEET OF TRAVEL. TOP OF EXTINGUISHER NOT TO EXCEED 48" ABOVE FINISH

EGRESS SEPARATION

WHERE TWO EXIT OR EXIT ACCESS DOORWAYSARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THEN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. (1004.2.2.1 W/ EXCEPTION #2 BCNYS, FCNYS)

21. FIRE AREA

THE AGGREGATE FLOOR AREA ENCLOSED AND BOUNDED BY FIRE WALLS, FIRE BARRIERS, EXTERIOR WALLS OR FIRE RESISTANCE RATED HORIZONTAL ASSEMBLIES OF A BUILDING.

22. FIRE BARRIER

A FIRE-RESISTANCE-RATED VERTICAL OR HORIZONTAL ASSEMBLY OF MATERIALS DESIGNED TO RESTRICT THE SPREAD OF FIRE IN WHICH OPENINGS ARE PROTECTED. THIS PROJECT REQUIRES A 2-HOUR FIRE-RESISTANCE RATED BARRIER AS PER - FBC 706.3.5 AND TABLE 302.1.1 & TABLE 706.3.7

23. FIRE DEPARTMENT SETUP SITES

TWO ON-STREET FIRE DEPT. SETUP SITES (21' X 36') ARE PROVIDED AT NORTH AND SOUTH SIDE OF DEVELOPMENT SERVING NORTH AND SOUTH RESIDENTIAL TOWERS.

EMERGENCY VEHICLE ACCESS

GROUND LEVEL PARKING HAS 13'-6" CLERANCE AND PROVIDES ACCESS TO EMERGENCY VEHICLES THROUGHOUT.

FAIR HOUSING ACT NOTES:

BUILDING ENTRANCE TO BE PROVIDED ON AN ACCESSIBLE ROUTE FROM ACCESSIBLE PARKING SPACES AT GARAGE, FROM ACCESSIBLE PASSENGER LOADING ZONE, AND FROM PUBLIC TRANSPORTATION STOP AND SIDEWALK AT BISCAYNE BOULEVARD.

ALL COMMON AMENITIES AND PUBLIC AREAS ON SITE AND IN THE RESIDENTIAL TOWER TO BE ACCESSIBLE.

ALL ACCESSIBLE DOORS IN PUBLIC AREAS TO BE WITH MINIMUM OF 32" CLEAR WIDTH AND TO HAVE REQUIRED FLOOR CLEARANCE AT PULL AND PUSH SIDE OF THE DOOR.

ALL USABLE DOORS WITHIN RESIDENTIAL UNITS AND PRIVATE TERRACES TO BE

HARDWARE SUBMITTALS SHOULD COMPLY WITH CH.4 (404.2.7) DOOR & GATE HARDWARE, CH.4 (404.2.8) CLOSING SPEED & CH.4 (404.2.9) DOOR & GATE OPENING FORCE AS WELL AS ANY CLOSER & LATCH REQUIREMENTS ASSOCIATED WITH THE MANEUVERING CLEARANCES PROVIDED.

ALL LIGHT SWITCHES, ELECTRIC OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL BE INSTALLED AT ACCESSIBLE HEIGHT & ACCESSIBLE LOCATION.

ALL UNITS THAT ARE SOLD BEFORE CONSTRUCTION AND/OR CUSTOM DESIGNED DURING CONSTRUCTION FOR PARTICULAR PURCHASER SHALL COMPLY WITH F.H.A. DESIGN & CONSTRUCTION REQUIREMENTS.

ORIGINAL AND SUBSEQUENT OWNERS OF COVERED F.H.A. BUILDINGS IN THIS PROJECT MUST MAINTAIN THE BUILDING'S ACCESSIBLE FEATURES SO THAT THE BUILDINGS CONTINUE TO MEET THE ACT'S REQUIREMENTS.

PARKING GARAGE "S-2" A OR B A, B, OR C A, B, OR C A OR B RESIDENTIAL "R-2" A, B, OR C HORIZONTAL SEPARATION CONDITION SEPARATION DOOR RATING *TRASH CHUTE ACCESS ROOMS 1 HR 45 MIN 45 MIN 1 HR N/A

*TRASH CHUTE COLLECTION ROOM **UNIT-TO-UNIT UNIT-TO-EXIT 1 HR 45 MIN UNIT-TO-CORRIDOR 1 HR 45 MIN **** SMOKE DAMPER 1.5 HR N/A * FBC 707.13.3 & FBC 707.13.4 ** FBC 708.3 *** FBC TABLE 715.3 **** FBC TABLE 716.3.1

VERTICAL SEPARATION CONDITION SEPARATION 2 HR EXIT STAIRS ELEVATOR HOISTWAYS 2 HR TRASH CHUTE 2 HR SHAFT FNCLOSURE VENTILATION 2 HR SHAFT FNCLOSURE 2 HR SMOKE CONTROL SHAFT ** FBC 707.4 SHAFT FNCI OSURES - 2 HR SHAFT ENCLOSURE W/ 90 MIN DOOR OPENING PROTECTION

SEPARATION FROM BLDG SERVICE AREAS CONDITION SEPARATION CLOSED PARKING GARAGE 2 HR (INCIDENTAL S-2) ALL BUILDING SERVICE 1 HR AREAS (INCIDENTAL) LOCKER ROOM 1 HR (ASSEMBLY 2) MAINTENANCE 1 HR (INCIDENTAL) TRASH COLLECTION ROOMS (INCIDENTAL) STORAGE 1 HR (ACCESSORY S-1) BOILER OVER 15 PSI AND 10 1 HR HORSE POWER (INCIDENTAL) *INCIDENTAL USE AREAS FBC TABLE 302.1.1 SIGNAGE TACTILE EXIT SIGN: WALL-MOUNT ADJACENT TO ALL STAIR ENTRY DOORS ON LATCH SIDE AT 60" A.F.F. TO CENTERLINE OF SIGN. ELEV SIGN TO READ: "IN FIRE EMERGENCY, DO NOT USE ELEVATOR. USE EXIT STAIRS."

LIFE SAFETY SUMMARY

NO EXIT | SIGN TO READ: "NO EXIT"

THE FOLLOWING IS A SUMMARY OF THE LIFE SAFETY ASSESSMENT. THESE SPECIFICATIONS AND GENERALIZATIONS ARE FOR THIS PARTICULAR PROJECT AT THIS PRESENT TIME. THESE IDEALS AND CODES MUST BE REVIEWED FOR APPROVAL. THEY ARE NOT TRANSFERABLE TO ANY OTHER PROJECT OR SCENARIO. THE APPROVAL OF ANY AND ALL FUTURE CONSTRUCTION DOCUMENTS TO BE SUBMITTED AS PART OF THE FIRE PROTECTION AND LIFE SAFETY PROGRAM WILL BE SUBJECT TO FINAL REVIEW WITH THE BUILDING AND FIRE REVIEW DEPARTMENTS OF THE TOWN OF LAKE PARK & PBC, FLORIDA.

THE PROPOSED BUILDING IS TO BE TYPE I-A CONSTRUCTION WITH THE OCCUPANCY TYPES R-2 WITH ACCESSORY USES OF MERCANTILE (M), GARAGE (S-2) STORAGE AND (A-3) ASSEMBLY AND INCIDENTAL USES TO THE R-2 OCCUPANCY.

MAXIMUM ELEVATION CHANGE AT ALL BUILDING ENTRANCE DOORS (INCLUDING THRESHOLDS) SHALL BE EQUAL TO OR LESS THAN 1/2".

PLEASE REFER TO THE ARCHITECTURAL FLOOR PLANS FOR ROOM NAME, ROOM NUMBER, AND LOCATION OF SPECIFIC WALL DETAIL AND WALL TYPES.

01 N211 SHEETS - GENERAL.pln

CODE REFERENCE

BUILDING CODE

LIFE SAFETY CODE

ACCESSIBILITY CODE

PLUMBING CODE

MECHANICAL CODE

ELECTRICAL CODE

FIRE PREVENTION CODE

FIRE ALARM CODE

FIRE SPRINKLER CODE

FIRE EXTINGUISHER CODE

BUILDING CONSTRUCTION,

RENOVATION & DEMOLITION CODE

OR REGULATIONS WHETHER REFERENCED HEREIN OR NOT.

AUTOMATIC SPRINKLER SYSTEMS

REQUIREMENTS

EGRESS DOORS

THAT READS:

MEANS OF EGRESS ILLUMINATION

ELEVATOR LOBBIES

TENANT SPACES

PARKING GARAGE

SLEEPING UNITS IN GROUP F

RESIDENTIAL COMMON AMENITIES

OUTDOOR POOL DECK ROOFTOP POOL DECK

CORRIDORS

EGRESS ILLUMINATION).

COMMUNICATIONS

FIRE ALARM

FIRE COMMAND STATION

1. EMERGENCY LIGHTING SYSTEM.

STAND-BY POWER

FIRE DOORS

ENERGY CODE

FHADM

HAVING JURISDICTION SUPERSEDES ALL CODES.

NOTE: THE FOLLOWING CODES HAVE BEEN USED FOR CROSS-REFERENCE TO COMPILE THIS LIST.

___ FLORIDA BUILDING CODE, 2017 6th EDITION

FOR BUILDING CONSTRUCTION

— FAIR HOUSING ACT DESIGN MANUAL

FLORIDA ELECTRICAL CODE

N.F.P.A.-101, 2018 EDITION)

N.F.P.A. 101, LIFE SAFETY CODE, 2012 EDITION

2017 6th EDITION FLORIDA ACCESSIBILITY CODE

FLORIDA PLUMBING CODE, 2017 6th EDITION

__ FLORIDA MECHANICAL CODE, 2017 6th EDITION

NATIONAL ELECTRICAL CODE, 2014 EDITION

FLORIDA ENERGY CODE (CHAPTER #13, 2017 FBC)

FLORIDA FIRE PREVENTION CODE, (BASED ON N.F.P.A.-1 &

NATIONAL FIRE ALARM CODE (N.F.P.A.- 72, 20xx EDITION)

INSTALLATION OF SPRINKLER SYSTEMS (N.F.P.A.-13, 2018 ED.)

PORTABLE FIRE EXTINGUISHERS (N.F.P.A.- 10, 2018 EDITION)

____ STANDARDS FOR SAFEGUARDING CONSTRUCTION, ALTERATIONS

& DEMOLITION OPERATIONS (N.F.P.A. - 241, 2018 EDITION)

THE MOST STRINGENT OF CODES SHALL BE USED. PLEASE BE ADVISED THAT THE AUTHORITY

NOTE: THE GENERAL CONTRACTOR AND THEIR SUB-CONTRACTORS REMAIN RESPONSIBLE FOR

ASSURING THAT ALL INSTALLATIONS MADE AS PART OF OR IN ASSOCIATION WITH THIS PROJECT

ARE TO PROCEED IN STRICT COMPLIANCE WITH ANY AND ALL APPLICABLE CODES, ORDINANCES

PROPOSED BUILDING SHALL BE FULLY SPRINKLERED IN ACCORDANCE WITH:

A.) UNLOCK UPON ACTIVATION OF THE AUTOMATIC SPRINKLER SYSTEM OR UPON

C.) INITIATE AN IRREVERSIBLE PROCESS THAT WILL RELEASE THE LOCK WITHIN 15

CONTINUOUSLY APPLIED FOR MORE THAN 1 SECOND. THE INITIATION OF THE

RELEASE PROCESS SHALL ACTIVATE A SIGNAL IN THE VICINITY OF THE DOOR TO

ENSURE THOSE ATTEMPTING TO EGRESS THAT THE SYSTEM IS FUNCTIONAL. ONCE

THE DOOR LOCK HAS BEEN RELEASED BY THE APPLICATION OF FORCE TO

D.) THE DOOR LOCKS SHALL HAVE THE CAPABILITY OF BEING UNLOCKED BY A

E.) ON THE WALL ADJACENT TO THE RELEASE DEVICE A SIGN SHALL BE POSTED

"PUSH UNTIL ALARM SOUNDS, DOOR CAN BE OPENED IN 15 SECONDS."

PLEASE SEE DOOR SCHEDULE ON ARCHITECTURAL SHEETS FOR FURTHER DETAILS.

(EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM). ALARM TO STATE:

"MAY I HAVE YOUR ATTENTION PLEASE, A FIRE EMERGENCY HAS BEEN

REPORTED IN THE BUILDING. WHILE THIS IS BEING INVESTIGATED PLEASE

LEAVE THE BUILDING BY THE NEAREST EXIT. DO NOT USE THE ELEVATOR."

ALL FIRE DOORS SHALL BE PROVIDED WITH FIRE DOOR HARDWARE AS PER FBC 1008.1.8 AND 715

ILLUMINATED AND MARKED MEANS OF EGRESS AS PER NFPA 101- 7.8 AND FBC 1006 (MEANS OF

AUDIBLE ALARM AND COMMUNICATION SYSTEM SHALL BE IN ACCORDANCE TO BCNYS 907.2.12.2

ALARM SHALL SOUND IN THE FOLLOWING TERMINAL AREAS IN ACCORDANCE WITH THE FIRE CODE:

FIRE ALARM SYSTEM TO BE INSTALLED CERTIFIED AND MAINTAINED BY A UL CERTIFIED ALARM

CONTRACTOR, FIRE ALARM SYSTEM IS NOT TO BE OFF-SITE (PROPRIETARY SYSTEM ONLY).

BASED ON THE BUILDING HEIGHT AND OCCUPANCY ONE FIRE COMMAND STATION / ROOM

PER LDR SEC. 4.3.3(00)(i)(a) THE BUILDINGS SHALL BE PROVIDED WITH AUXILIARY POWER GENERATOR

CLASS 1, TYPE 60 STANDBY POWER IN ACCORDANCE WITH 2702 OF FBC & NFPA-70,NFPA-110,

PROVIDE FIRE ALARM SYSTEM AND STATION MONITORING UNDER SEPARATE PERMIT.

IS REQUIRED AND ONE FIRE COMMAND ROOM IS PROVIDED FOR THIS PROJECT.

(OPENING PROTECTIVE) NFPA 80 INCLUDING DOOR, FRAME, HINGES, CLOSERS AND PASSAGE SETS,

RELEASING DEVICE, RELOCKING SHALL BE BY MANUAL MEANS ONLY.

F.) EMERGENCY LIGHTING SHALL BE PROVIDED AT THE DOOR.

SECONDS UPON APPLICATION TO THE RELEASE DEVICE REQUIRED TO BE

B.) UNLOCK UPON LOSS OF POWER CONTROLLING THE LOCK OR LOCKING MECHANISM AND,

PROVIDE AUTOMATIC SPRINKLER SYSTEM AND STATION MONITORING UNDER SEPARATE PERMIT

EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT AND SHALL CONFORM TO FBC & FFPC 1008.1.8.3 (LOCKS

DOORS NOTED SHALL BE EQUIPPED WITH A SPECIAL LOCKING ARRANGEMENT AS FOLLOWS

SEE FIRE SPRINKLER SHEETS FOR DETAILS AND LOCATIONS OF SPRINKLER HEADS AND CODE

NFPA 13 AND FBC SECTION 903 (AUTOMATIC SPRINKLER SYSTEMS)

AND LATCHES) &1008.1.8.6 (DELAYED EGRESS LOCKS)

ACTUATION OF ANY AUTOMATIC FIRE DETECTION SYSTEM.

SIGNAL FROM THE FIRE COMMAND CENTER.

PROVIDE GENERATOR SET SYSTEM UNDER SEPARATE PERMIT.

3. MECHANICAL EQUIPMENT FOR SMOKEPROOF ENCLOSURES.

THE STANDBY POWER SYSTEM SHALL BE CONNECTED TO THE FOLLOWING:

2. AT LEAST ONE ELEVATOR SERVING ALL FLOORS AND TRANSFERABLE TO ANY ELEVATOR.

	PODIUM				
		ACTIVE L	INER USES	PARKING &	
_		RESID.	COMMERCIAL	UTILITIES	
3	LEVEL A PARKING GR. FLOOR	15,197 SF	22,608 SF	59,455 SF	97,260 SF
	LEVEL B PARKING MEZZ.	-	-	59,731 SF	59,731 SF
	LEVEL C PARKING	15,375 SF	13,000 SF	74,083 SF	102,458 SF
	LEVEL D PARKING	15,375 SF	-	73,505 SF	88,880 SF
	LEVEL E PARKING	33,112 SF	-	69,241 SF	102,353 SF
	LEVEL F AMENITY FLOOR	54,491 SF	-	-	54,491 SF
	SUB-TOTAL (PODIUM)	133,550 SF	35,608 SF	336,015 SF	505,173 SF
	TWO RESID. TOWERS				
			NORTH TOWER	SOUTH TOWER	
	FIRST TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	SECOND TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
_	THIRD TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	FOURTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	FIFTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	SIXTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	SEVENTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	EIGHTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	NINTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	TENTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	ELEVENTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	TWELFTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	THIRTEENTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	FOURTEENTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	FIFTEENTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	SIXTEENTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
1	SEVENTEENTH TOWER FLOOR		22,964 SF	14,968 SF	37,932 SF
	ROOF / ROOF TOP AMENITIES		1,200 SF	-	1,200 SF
	SUB-TOTAL (TOWERS)		391,588 SF	254,456 SF	644,844 SF
		DOD!!!!!	•		778,394 SF
	TOTAL RESIDENTIAL (TOWERS +	PODIUM)			770,374 31

PARKING DATA

Description	Parking Ratio	Office	Retail	Restaurant	Residential	Parking Require
Retail (8,058 SF)	2/1000		16.1			16
Restaurant (14,550 SF)	10/1000			145.5		146
Office (13,000 SF)	2/1000	26.0				26
Residential	see chart *				571.0	571
BASE PARKING REQUIRED	•					759

SE PARKING REQU	JIKED.					739		
quired Residentia	al Parking:							
1	Efficiency	0	1.00	per unit	0			
2	1 Bedroom	0	1.00	per unit	0			
3	2 Bedroom	221	1.50	per unit	331.5	332		
4	3 Bedroom	110	2.00	per unit	220	220		
5	4 Bedroom	1	2.00	per unit	2	2		
6	Guest PKG	332	0.05	1 per 20 units	16.6	17		
	Total	332			570.1	571		
	Required Base Parking					759		
Parking Required for Public Benefit 100 spaces								
Total Parking Required								
						859		
	Parking Balance (+)					4		

PARKING USE

Parking Location	Surplus	Office	Retail	Restaurant	Residential	Public	Number of Stall
STREET PKG			7				7
LEVEL A - P1			6		18	100	124
LEVEL B - P2	4	8	3	102	38		155
LEVEL C - P3		18		44	133		195
LEVEL D - P4					194		194
LEVEL E - P5					188		188
PARKING PROVIDED:	4	26	16	146	571	100	863

PARKING MIX

Parking Location	Parallel	Regular	Compact	Tandem	Handicap	Number of Stalls
STREET PARKING (included)	7					7
LEVEL A - P1		100	16	0	8	124
LEVEL B - P2		100	9	46	0	155
LEVEL C - P3		115	18	58	4	195
LEVEL D - P4		114	18	58	4	194
LEVEL E - P5		134	40	12	2	188
PARKING PROVIDED:	7	563	101	174	18	863
Parking Spaces Mix	0.8%	65.2%	11.8%	20.1%	2.1%	100.0%

BICYCLE PARKING CALCULATIONS

Location	Bike Rack Area #	# Bicycles	Use
LEVEL A - P1	B.P. #A1	2	Retail
LEVEL A - P1	B.P. #A2	15	Restaur.
LEVEL B - P2	B.P. #B1	4	Resid.
LEVEL B - P2	B.P. #B2	4	Resid.
LEVEL C - P3	B.P. #C1	4	Office
LEVEL D - P4	B.P. #D1	4	Resid.
LEVEL E - P5	B.P. #E1	7	Resid.
LEVEL E - P5	B.P. #E2	4	Resid.
TOTAL B.P. PROVIDED):	44	

SECURE BICYCLE STORAGE CALCULATIONS

Location	Secure Storage #	# Bicycles	Use
LEVEL B - P2	S.B.S. #1	18	Resid.
LEVEL B - P2	S.B.S. #2	18	Resid.
TOTAL S.B.S. PROVID	36		

TOTAL BICYCLE PKG & STORAGE PROVIDED:	80 SPACES	
TOTAL BICYCLE PKG & STORAGE REQUIRED:	76 SPACES	

RESIDENTIAL UNIT MIX

Time	Description	Unit	Terr.	Total		Unit Count				Bedroom Count			
Type	Description	Area	Area	SF	NORTH TOWER	SOUTH TOWER	PODIUM	Total	North	South	Podium	Total	
Α	AP 2 BDR/2.5 BATH	1,517	280	1,797	135			135	270			270	
Aa	AP 2 BDR/2.5 BATH	1,850	238	2,088	17			17	34			34	
В	AP 3 BDR/3.5 BATH+DEN	2,162	600	2,762	17			17	51			51	
Ва	AP 3 BDR/3.5 BATH+DEN	2,162	600	2,762	16			16	51			51	
Bb	AP 4 BDR/4.5 BATH+DEN	2,576	600	3,176	1			1	4			4	
С	AP 3 BDR/3.5 BATH+DEN	2,392	504	2,896	16			16	48			48	
Ca	AP 3 BDR/3.5 BATH+DEN	2,925	337	3,262	1			1	3			3	
												<u> </u>	
Е	AP 2 BDR/2.0 BATH	1,686	600	2,286		17		17		34		34	
F	AP 2 BDR/2.5 BATH	1,868	190	2,058		17		17		34		34	
Fa	AP 2 BDR/2.5 BATH	1,848	170	2,018		17		17		34		34	
G	AP 3 BDR/3.5 BATH	2,210	206	2,416		34		34		102		102	
H	AP 3 BDR/3.5 BATH+DEN	3,318	852	4,170		17	1	18		51	3	54	
D	TH 3 BDR/2.5 BATH	2,245	270	2,515			2	2			6	6	
J	AP 2 BDR/2.5 BATH	1,829	330	2,159			3	3			6	6	
Ja	AP 2 BDR/2.5 BATH	1,820	290	2,110			2	2			4	4	
K	AP 3 BDR/3.5 BATH	2,332	377	2,709			4	4			12	12	
L	AP 2 BDR/2.5 BATH+DEN	1,981	221	2,202			3	3			6	6	
М	AP 2 BDR/2.5 BATH	1,539	215	1,754			3	3			6	6	
N	AP 2 BDR/2.5 BATH+DEN	1,808	171	1,979			3	3			6	6	
Р	AP 2 BDR/2.5 BATH+DEN	1,980	236	2,216			3	3			6	6	
Q	AP 3 BDR/3.5 BATH	2,253	415	2,668			3	3			9	9	
	Sub Total				203	102	27	332	461	255	64	780	
Project	Totals							332				780	

OCCUPANCY LOAD CALCULATIONS

	Occupancy	Use	Gross Area	Net Area	Factor	Occupants	Total Occupants
LEVEL A							2,618
	(S-2)	Garage	59,445 SF		1/200	298	2,010
	(A-2)	Restaurant	14,550 SF	7,800 SF	1/15 net	520	
	(A-2)	Res. Lobby	13,794 SF	8,000 SF	1/5 net	1,600	
	(M)	Retail	8,058 SF	6,000 SF	1/30 net	200	
LEVEL B	` '		,	,			299
	(S-2)	Garage	59,731 SF		1/200	299	
LEVEL C							505
	(S-2)	Garage	59,445 SF		1/200	298	
	(B)	Office	13,000 SF		1/100	130	
	(R-2)	Res. Apt.	15,375 SF		1/200	77	
LEVEL D			.,				447
	(S-2)	Garage	74,083 SF		1/200	370	
	(R-2)	Res. Apt.	15,375 SF		1/200	77	
LEVEL E	,		,				614
	(S-2)	Garage	73,978 SF		1/200	370	
	(A-3)	Activity Center	7,400 SF		1/50	148	
	(S-2)	Res. Storage	5,600 SF		1/300	19	
	(R-2)	Res. Apt.	15,375 SF		1/200	77	
AMENITY LEVEL		·					1,185
	(A-3)	Indoor Amenities	38,775 SF		see plan	766	·
	(R-2)	Res. Apt.	15,716 SF		1/200	79	
	(A-3)	Outdoor Amenities	17,375 SF		see plan	340	
TOWER TYPICAL (16) FLOORS			,				190
	(R-2)	Res. Apt. NT	22,964 SF		1/200	115	
	(R-2)	Res. Apt. ST	14,968 SF		1/200	75	
TOWER PENTHOUSE FLOORS							190
	(R-2)	Res. Apt. NT	22,964 SF		1/200	115	
	(R-2)	Res. Apt. ST	14,968 SF		1/200	75	
ROOF LEVEL NORTH TOWER	, ,		,				212
	(A-3)	Outdoor Amenities	7,970 SF		see plan	210	
	(S-2)	Mechanical	600 SF		1/300	2	
ROOF LEVEL SOUTH TOWER							2
	(S-2)	Mechanical	600 SF		1/300	2	

Nautilus 211

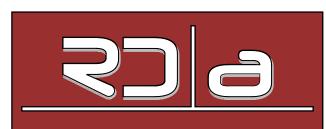
SITE PLAN SUBMITTAL

211 Federal Highway Lake Park Florida 33403

Forest Development LLC 1571 NE 45th Street Fort Lauderdale Florida 33334

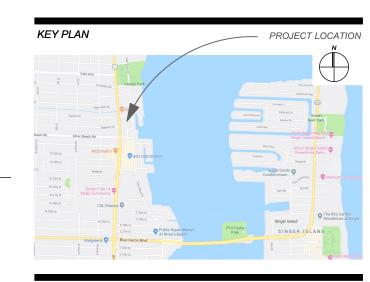
ARCHITECT OF RECORD:

PROJECT OWNER:



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CONSULTANT:



SIGNATURE / DATE / SEAL

NOT VALID IF MISSING SIGNATURE

Víctor H. Rodríguez, Registered Architect State of Florida # AR0094965

Issue Issue Date / For SITE PLAN APPROVAL

RDA Project #: 2019-001 Drawn by: O. E. N.

Approved by: V.B.N.

DEVELOPMENT DATA

SHEET INDEX

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