



**TOWN OF LAKE PARK
SPECIAL CALL
PLANNING & ZONING BOARD
MEETING AGENDA
MARCH 5, 2019**

**IMMEDIATELY FOLLOWING
THE JOINT SPECIAL CALL
PLANNING & ZONING BOARD MEETING WITH THE VILLAGE OF
NORTH PALM BEACH PLANNING COMMISSION**

**535 PARK AVENUE
LAKE PARK, FLORIDA**

PLEASE TAKE NOTICE AND BE ADVISED: If any interested person desires to appeal any decision of the Planning & Zoning Board with respect to any matter considered at the Meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. *Persons with disabilities requiring accommodations in order to participate in the Meeting should contact the Town Clerk's Office by calling (561) 881-3311 at least 48 hours in advance to request accommodations.*

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

- | | |
|-------------------------------------|--------------------------|
| Judith Thomas, Chair | <input type="checkbox"/> |
| Martin Schneider, Vice-Chair | <input type="checkbox"/> |
| Lawrence Malanga, Regular Member | <input type="checkbox"/> |
| Charlemagne Metayer, Regular Member | <input type="checkbox"/> |
| Joseph Rice, Regular Member | <input type="checkbox"/> |
| Vacant, Alternate Member | <input type="checkbox"/> |

APPROVAL OF AGENDA

APPROVAL OF MINUTES

- Special Call Joint Planning & Zoning Board Meeting with NPB Planning Commission; October 2, 2018
- Special Call Planning & Zoning Board Meeting; October 2, 2018

PUBLIC COMMENTS

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located in the rear of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

ORDER OF BUSINESS

The normal order of business for Hearings on agenda items is as follows:

- Staff presentation
- Applicant presentation (when applicable)
- Board Member questions of Staff and Applicant
- Public Comments – 3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on floor
- Vote of Board

NEW BUSINESS

1. **PZ-19-002:** A SPECIAL EXCEPTION APPLICATION FOR THE SPECIAL EXCEPTION USE OF BOAT SALES, SUBMITTED BY SOUTH FLORIDA YACHTS “APPLICANT”, FOR THE PROPERTY LOCATED AT 1301 10TH STREET IN THE C-1 BUSINESS DISTRICT. PROPERTY OWNER: PRIME PLAZA, INC.
2. **PZ-19-003:** A STAFF INITIATED TEXT AMENDMENT PROPOSING TO INCORPORATE BREWERY-TYPE USES IN THE C-2 ZONING DISTRICT CODIFIED IN TOWN CODE SECTION 78-72.

PLANNING & ZONING BOARD MEMBER COMMENTS

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

ADJOURNMENT

FUTURE MEETINGS:

APRIL 1, 2019 AT 6:30 P.M. – PLANNING & ZONING BOARD MEETING



**Town of Lake Park, Florida
SPECIAL CALL
JOINT PLANNING & ZONING BOARD
With the Village of North Palm Beach
Planning Commission**

**Meeting Minutes
October 2, 2018**

CALL TO ORDER

Vice-Chair Martin Schneider called the Joint Special Call Planning & Zoning Board Meeting to order at 6:00 p.m.

ROLL CALL

TOWN OF LAKE PARK

Judith Thomas, Chair	Not Present
Martin Schneider, Vice-Chair	Present
Lawrence Malanga	Present
Charlemagne Metayer	Present
Joseph Rice	Present
John Linden (1 st Alternate)	Present

Also in attendance were Community Development Director Nadia DiTommaso, Assistant Town Attorney Karl J. Sanders and Assistant to the Community Development Director Kimberly Rowley.

VILLAGE OF NORTH PALM BEACH PLANNING COMMISSION

Cory Cross, Chair	Present
Donald Solodar, Vice-Chair	Present
Benjamin Schreier, Regular Member	Excused
Thomas Hogarth, Regular Member	Present
Jake Furlott, Regular Member	Present
Jonathan Haigh, 1 st Alternate	Present
Lori Rainaldi, 2 nd Alternate	Present

Also in attendance from the Village of North Palm Beach were Community Development Director Denise Malone; Village Attorney Leonard Rubin and Town Planner Erin Sita.

APPROVAL OF AGENDA

*Joint Special Call Planning & Zoning Board Meeting with the Village of North Palm Beach Planning Commission Meeting Minutes
October 2, 2018*

Motion: Board Member Joseph Rice moved to approve the agenda; Board Member Malanga seconded the motion.

Vote on Motion:

Board Member	Aye	Nay	Other
Board Member Linden	X		
Board Member Malanga	X		
Board Member Metayer	X		
Board Member Rice	X		
Vice-Chair Schneider	X		

Motion passed 5-0.

Public Comments

Vice-Chair Schneider explained the Public Comment procedure.

ORDER OF BUSINESS

The normal order of business for Hearings on agenda items are as follows:

- Staff presentation
- Applicant presentation (when applicable)
- Board Member questions of staff and applicant
- Public Comments – limited to 3 minutes per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on floor
- Vote of Board

NEW BUSINESS:

PZ-18-005 – A SITE PLAN APPLICATION SUBMITTED BY SCHMIDT NICHOLS (“AGENT”) ON BEHALF OF THE PROPERTY OWNER AND APPLICANT, NORTHLAKE PROMENADE SHOPPES LLC (“APPLICANT”), REQUESTING SITE PLAN APPROVAL FOR PARCELS 9 & 10 OF THE PROJECT KNOWN AS NORTHLAKE PROMENADE (A.K.A. TWIN CITY MALL).

Nadia DiTommaso, Community Development Director, addressed the Boards and explained this meeting is unique because it involves a Planned Unit Development (PUD) where the Town has the Northlake Promenade Shoppes PUD within our jurisdictional boundaries and the Village has the Village Shoppes PUD within their jurisdictional boundaries.

The original Ordinance for the PUD requires a joint meeting of both Planning Boards and therefore the Application was reviewed by the Staff of Lake Park as well as the Staff of

*Joint Special Call Planning & Zoning Board Meeting with the Village of North Palm Beach Planning Commission Meeting Minutes
October 2, 2018*

North Palm Beach. Ms. DiTommaso thanked both Boards for being present and the Staff of North Palm Beach for working together on the review of this Application. She stated a separate motion would be required from each Board, beginning with a motion from the Town of Lake Park Planning & Zoning Board. Ms. DiTommaso presented and read into the record the Staff Report (attached as Exhibit "A"), while providing a visual of the location site, jurisdictional boundaries and the architectural elevations of the proposed structures, as contained within the Agenda Packets.

RECOMMENDATION OF APPROVAL:

Ms. DiTommaso stated Staff recommends approval of the Site Plan Application for the additional 65,380 square feet, for a total 75,804 square feet, of new retail development, along with parking, landscaping and other site improvements within Parcels 9 and 10 of the Northlake Promenade Shoppes PUD, subject to Conditions of Approval #1 - #25 as identified in the Staff Report, along with Special Conditions including # 2 and # 5, as follows:

1. The Applicant shall develop the Site consistent with the following Plans:

Sheet Titles	Sheet(s)	Sign and Sealed Date <i>(official file copy will include seal)</i>	Received by Community Development Date
Site Plan Packet	SP-1, SP-2, SP-3	08/29/2018	08/30/2018
Landscape Index, Landscaping Plans and Tree Disposition Plan	LI-1, LP-1, LP-2, LP-3, LP-4, LP-5 and TD-1	08/29/2018	08/30/2018
Civil Plans (Paving, Grading and Drainage)	Civil 1 through 10	06/08/2018	08/30/2018
Survey	Job No. 16-1594.24	09/28/2016	08/30/2018
Floor Plan, Elevations/Materials Schedule, and Color Renderings	A2.01, A3.01, AC3.01	05/17/2018	08/30/2018
Site Lighting Plan	E-1	06/11/2018	08/30/2018

2. The Phase 1 for Parcels 9 and 10 shall be consistent with the purpose and guidelines of the Master Plan development by Dover Kohl dated 07/25/2018.

Future development shall comply and be reviewed for consistency with the Master Plan in place at that time.

3. There is minimal landscaping identified on the landscape plans for Retail building "I," which is the additional building identified for Phase I construction by the Dover Kohl Master Plan. Additional landscaping and planter box material option/s should be established for Retail Building "I." This enhanced landscaping may include the triple palms (as shown in the rendering) or shade trees around Retail Building "I." The landscaping in the renderings should reflect the proposed material on the landscape plan.
4. The dumpster for Retail Building "I" should be flipped away from Retail building "I" to eliminate potential smells and provide additional buffer between the dumpster and the outdoor areas around said building.
5. The main east-west internal road in the entire PUD, which connects to US Highway 1, shall have a continuous pedestrian pathway to the eastern property line of the PUD and have similar trellis features, or other shade features for internal consistency with the proposed site plan modifications. A cross access easement in the approximate location where the subject property would connect to a future pedestrian pathway on the adjacent PUD parcel extending east to US-1, shall be included on the site plan prior to the Town Commission Meeting.
6. The existing parking lots should be looked to add additional pedestrian pathways, or shade area of respite for pedestrians where feasible.
7. No Building Permits for the site shall be issued after December 31, 2021.
8. The Property Owner shall fund the cost of and construct a signal, if warranted, as determined by the County Engineer, on Northlake Blvd at Project's western main entrance. Signalization shall be a mast arm structure installation. The cost of signalization shall also include all design costs and any required utility relocation and right of way or easement acquisition.
 - a. No further Building Permits shall be issued until the Property Owner provides acceptable surety to the Traffic Division in an amount as determined by the Director of the Traffic Division.
 - b. In order to request release of the surety for the traffic signal at the above intersection, the Property Owner shall provide written notice to the Traffic Division stating that the final certificate of occupancy has been issued for this development and requesting that a signal warrant study be conducted at the intersection. The Traffic Division shall have 24 months from receipt of this notice to either draw upon the monies to construct the traffic signal or release the monies. In the event that the property is sold, the surety may be returned once the

Traffic Division receives written documentation of the sale and a replacement surety has been provided to the Traffic Division by the new Property Owner. The surety will also be released if the Property Owner constructs the signal and the signal has been accepted by the County after final inspection.

9. The Property Owner shall close the easterly median opening on Northlake Blvd and subsequently extend the eastbound dual left turn lanes at US-1 intersection to the maximum extent feasible, as approved by the FOOT or County Engineer, as appropriate.
 - a. Permits required from FDOT or Palm Beach County, as appropriate, for this construction shall be completed prior to the issuance of any further Certificate of Occupancy.
10. The Property Owner shall extend the existing eastbound "drop through lane/right turn lane" on Northlake Blvd at US-1, westerly to the east edge of the Project's westernmost driveway connection.
 - a. Permits required from FDOT or Palm Beach County, as appropriate, for this construction shall be obtained prior to the issuance of any further building permit.
 - b. Construction shall be completed prior to the issuance of any further Certificate of Occupancy.
11. Prior to the issuance of a development permit, planting plans are required to show the lighting locations. Applicant/Owner is responsible for any and all revisions to plans, including any additional approvals that may be required, as a result of submitting Planting Plans with lighting plans during the building permit phase only.
12. Site must be 100% irrigated. Prior to the issuance of a development permit, irrigation plans are required. Applicant/Owner is responsible for any and all revisions to plans, including any additional approvals that may be required, as a result of submitting irrigation plans at building permit phase only.
13. Prior to the issuance of any building permit, copies of all other required permits from other agencies including but not limited to Palm Beach County Health Department, Palm Beach County Land Development Division, Northern Palm Beach County Improvement District, the Florida Department of Transportation, South Florida Water Management Division, the NOI for the Generic Permit for Stormwater Discharge from Large and Small Construction Activities (GCP) and the State of Florida Department of Environmental Protection will be required.

14. Wall signs must retain the same type and size. Content is limited to the business name. Wall signs will be reviewed in greater detail at the permitting phase and a master signage plan is required upon signage permit submittal.
15. For all access points to buildings or parking areas, including all open parking areas, minimum-maintained lighting shall be provided from dusk until 30 minutes after the termination of business each operating day. All active entrances to buildings shall provide minimum-maintained lighting from dusk until dawn.
16. High-definition surveillance cameras, which can capture clear facial features, to the parking areas as well as along the exterior façade of the building must be included. The camera(s) should be placed eye level in order to capture as much detail of any suspicious activity. Recording should be off site with internet cloud recovery available to Law Enforcement.
17. The Owner, the Applicant and their successors and assigns shall be subject to the Development Order and all conditions.
18. Construction on the Site is permitted only between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday, except holidays, unless otherwise approved in writing by the Community Development Director. Any proposed disruption to the normal flow of traffic within the right of way of Northlake Boulevard, Palmetto Drive, or US-1, or surrounding street and parking areas as part of the construction of the Site, shall also be subject to the review and approval of the Community Development Director and Public Works Director and Palm Beach County as applicable.
19. All landscaping as shown on the Site Plan and the Landscaping Plan shall be continuously maintained from the date of the issuance of the Certificate of Occupancy by the Owner. The Owner shall replace any and all dead or dying landscape material so as to maintain the quantity and quality of the landscaping shown on the approved Site Plan and Landscaping Plan.
20. The Owner shall ensure that any and all contractors use commonly accepted practices to reduce airborne dust and particulates during construction on the Site.
21. The dumpsters shall be screened as noted on the Site Plan and kept closed at all times. All dumpsters shall be acquired from the approved franchise supplier for the Town of Lake Park.
22. Prior to issuance of the Certificate of Occupancy, the Owner or Applicant shall provide certification from the Landscape Architect of record that the plant installations on the Site are in accordance with the approved Site and Landscaping Plans.
23. Any revisions to the approved Site Plan, Landscape Plan, architectural elevations, signs, Statement of Use, photometric plan, or other detail submitted as part of the

Application, including, but not limited to, the location of the proposed improvements or additional, revised, or deleted colors, materials, or structures, shall be submitted to the Community Development Department and shall be subject to the required review and approval process.

24. The Owner shall initiate bona fide and continuous development of the Site within 18 months from the effective date of this Development Order. Once initiated, the development of the Site shall be completed within 18 months. Failure to do so shall render the Development Order void.
25. Cost Recovery. All professional consulting fees and costs, including legal fees incurred by the Town in reviewing the Application and billed to the Owner shall be paid to the Town within 10 days of receipt of an invoice from the Town. The failure of the Applicant to reimburse the Town within the 10 days from the town's mailing of its invoice will result in the suspension of any further review of plans or building activities, and may result in the revocation of the approved Development Order. A Certificate of Occupancy will not be issued if invoices are outstanding.

APPLICANT PRESENTATION

Attorney Martin Perry of Perry & Taylor, P.A. addressed the Boards on behalf of the Property Owner and Applicant, Northlake Promenade Shoppes LLC. Mr. Perry thanked Staff for the excellent and thorough presentation and stated that Jon Schmidt of Schmidt Nichols Landscape Architecture and Urban Planning is in attendance, as well as other company representatives in case there are any questions. Mr. Perry commented that he did the original zoning approval for the Twin City Mall in 1972-1973, which also required the approval of both jurisdictions at that time. Mr. Perry stated they are in agreement with all of the Conditions recommended by Staff, however they are looking for clarification on a couple of the conditions which Mr. Schmidt will provide during the Power Point Presentation.

Mr. Jon Schmidt, Agent for the Applicant, addressed the Boards and provided a Power Point Presentation detailing the Application for Northlake Promenade (attached as Exhibit "B"). He reviewed the Site Plan details of Phase I, Phase II & III. He reviewed the multiple access points of the project. An east-west alignment from U.S. One in Phase One will create a gap between the properties for master planning efforts. Phase II will create east-west and north-south gridlines; mixed housing types and walkability. Phase III provides further formation of lot and block; expanded walkability and strengthened connections beyond the property boundary. Architectural elevations/images were shown showing tower feature, rooflines, awning, lighting and textures.

Mr. Schmidt clarified Conditions of Approval #2 and # 5, as follows:

Condition No. 2: The Phase 1 for Parcels 9 and 10 shall be consistent with the purpose and guidelines of the Master Plan development by Dover Kohn dated 7/25/2018. *Future development shall comply with and be reviewed for consistency with the Master Plan in place at that time.* **Mr. Schmidt stated they are able to commit on their own** *Joint Special Call Planning & Zoning Board Meeting with the Village of North Palm Beach Planning Commission Meeting Minutes*
October 2, 2018

parcel/phase, but cannot commit to parcels to the east which they do not own or have control of.

Condition No. 5: The main east-west internal road in the entire PUD, which connects to U.S. Highway 1, shall have a continuous pedestrian pathway to *the eastern property line of the PUD and have similar trellis features, or other shade features for internal consistency* with the proposed site plan modifications. A cross-access easement in the approximate location where the subject property would connect to a future pedestrian pathway on the adjacent PUD parcel extending east to US Highway 1 shall be included on the site plan prior to the Town Commission Meeting. **Mr. Schmidt stated they are starting the standards but cannot commit to do additional structures on other properties, however, they are providing the easement so when the Town adopts the Master Plan it will come to fruition.**

Mr. Schmidt pointed out a visual of Phase 1 of the Dover Kohn Master Plan and the east-west connection.

Chair Thomas arrived at 6:25 p.m.

BOARD COMMENTS

No comments from Alternate Board Member Linden.
No comments from Board Member Rice.
No comments from Board Member Metayer.
No comments from Board Member Malanga.

PUBLIC COMMENTS

There were no Public Comments.

DISCUSSION

Board discussion ensued regarding the Site Plan Application and clarification questions/concerns were raised with the Applicant and Staff regarding site access points; medians; landscaping/shade trees; sidewalk separation; connectivity; wall signs; Master Plan; legal characterization of PUD and outparcels; conformity; and walkability. North Palm Beach Village Attorney responded to a question regarding the PUD and the Master Plan.

Upon conclusion and as a result of the discussion, it was agreed that Conditions of Approval #2 and #5 would be amended to reference that they specifically relate to the subject property. It was agreed that three (3) additional Conditions of Approval would be added regarding the pedestrian walkway on the east side of eastern property line of Publix parking lot; the color palette which the Applicant agreed to extend and would be required prior to the Certificate of Occupancy, and changing the proposed (20) Buttonwood Trees to a larger canopy tree.

Vice-Chair Schneider relinquished the Chair to Chair Judith Thomas in order to make the motion.

TOWN OF LAKE PARK MOTION:

Vice-Chair Schneider made a motion of approval with the following conditions:

- **To amend Condition #2 and Condition #5 to reference that they relate to the subject property;**
- **To add a new Condition that will add color consistency as conditioned within the subject parcel;**
- **To add a Condition that the Applicant shall work with Staff to continue the north-south sidewalk along the east side of the subject property to the northwest corner of the Publix;**
- **To add a new Condition to change out twenty (20) Buttonwoods to a larger canopy tree.**

The motion was seconded by Board Member Rice and the Town of Lake Park vote on the motion was as follows:

Board Member	Aye	Nay	Other
Board Member Linden	X		
Board Member Malanga	X		
Board Member Metayer	X		
Board Member Rice	X		
Vice-Chair Schneider	X		
Chair Thomas	X		

Motion passed 6-0.

The Village of North Palm Beach Planning Commission vote on the Town of Lake Park Planning & Zoning Board motion was as follows:

Commission Member	Aye	Nay	Other
Chair Cross	X		
Vice-Chair Solodar	X		
Commissioner Hogarth	X		
Commissioner Furlott	X		
Commissioner Haigh	X		

Motion passed 5-0.

LAKE PARK PLANNING & ZONING BOARD MEMBER COMMENTS

No comments.

NORTH PALM BEACH PLANNING COMMISSION COMMENTS

No comments.

LAKE PARK COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

No comments.

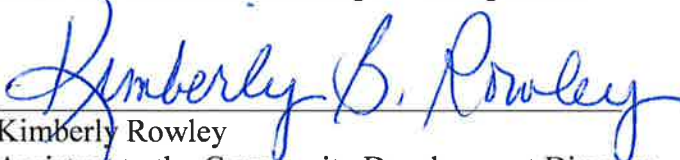
NORTH PALM BEACH COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

No comments.

ADJOURNMENT

There being no further business to come before the Planning & Zoning Board, the meeting adjourned at 7:11 p.m.

Judith Thomas, Chair
Town of Lake Park Planning & Zoning Board



Kimberly Rowley
Assistant to the Community Development Director

Approved on this _____ of _____, 2018



**TOWN OF LAKE OF PARK (LP) AND VILLAGE
OF NORTH PALM BEACH (NPB) - JOINT MEETING**

**PLANNING & ZONING BOARD (LP)
PLANNING COMMISSION (NPB)**

SPECIAL CALL JOINT MEETING DATE:	October 2, 2018 - 6:00 P.M.
PROJECT:	PZ18-005 – Northlake Promenade

***SITE PLAN APPLICATION
Northlake Promenade Shoppes Parcels 9 & 10***

STAFF REPORT

SUMMARY OF APPLICANT'S REQUEST:

A **Site Plan** application submitted by Schmidt Nichols (“Agent”) on behalf of the Property Owner and Applicant, Northlake Promenade Shoppes LLC (“Applicant”), requesting site plan approval for Parcels 9 & 10 of the project known as Northlake Promenade (a.k.a. Twin City Mall). The 9.0544-acre subject property (PCN: 36-43-42-21-32-010-0000 and 36-43-42-21-32-009-0000) is composed of Parcels 9 & 10 of the NORTHLAKE PROMENADE SHOPPES, A PUD, REPLAT No. 1 located at the southwest corner of Northlake Boulevard and U.S. Highway One within the Town of Lake Park (“Subject Property”). The Site Plan for Parcels 9 & 10 identifies 10,424 square-feet of existing retail and proposes 65,380 square-feet of new retail development, along with parking, landscaping and other site elements, at a similar intensity and general configuration at what was originally intended for the Subject Site.

The Subject Site, has a “Commercial” future land use designation. The Site has a Commercial-3 Business District (C-3) zoning designation and is located within the Northlake Boulevard Overlay Zoning (NBOZ) District. Parcels 9 and 10 are located within the overall Northlake Promenade Planned Unit Development (PUD), which is adjacent to the Village Shoppes PUD that is located within the jurisdictional boundaries of North Palm Beach. Both PUD’s are within the overall Twin City Mall original site area.

Timeline of Events:

- ➔ On October 24, 1991 the Village of North Palm Beach and Town of Lake Park entered into an Interlocal Agreement creating the Twin City Mall Task Force for the purposes of facilitating renovations and/or redevelopment of the Twin City Mall area located within both jurisdictions.
- ➔ On May 13, 1993 the Village of North Palm Beach and the Town of Lake park entered into an Interlocal Agreement to facilitate development of the real property known as the Twin City Mall.
- ➔ In November 1995, the Village of North Palm Beach approved the Twin City Mall PUD for those parcels located within the jurisdictional boundaries of the Village of North Palm Beach. In January 2003, the Village of North Palm Beach approved the Village Shoppes PUD (formerly known as the Twin City Mall) for this area.
- ➔ In November 1995, the Town of Lake Park approved the Northlake Promenade Shoppes PUD for those parcels located within the jurisdictions boundaries of the Town of Lake Park.

given the multi-jurisdictional boundaries, the original approvals intended on joint Planning Board meetings by both municipalities (Lake Park and North Palm Beach) so as to ensure an inclusive process and consistent development patterns

- ➔ Some development within the original Northlake Promenade PUD approval was built – namely, 67,434 square feet of retail/commercial (Publix grocery store and additional retail/commercial spaces); 4,281 square feet for a bank (now vacant), for a total of 71,715 square feet of development.
- ➔ A site plan for the retail extension of the Northlake Promenade PUD was approved in 2008 by the Town of Lake Park, however the approval expired and the project was never built.

→ In late 2017 and early to mid-2018, the Town of Lake Park staff and Village of North Palm Beach staff communicated on a shared vision for the overall site. At that time, the Village was already undergoing a visioning process for which Dover Kohl & Partners Town Planning Firm was tasked to create conceptual plans. Per the direction of the North Palm Beach Village Manager and Lake Park Town Manager, staff agreed on a conceptual plan for the area (enclosed). While the design still needs to move through the public input/approval process in both jurisdictions and may incorporate certain changes through these approval procedures, some common themes include street connectivity, active building forms, pedestrian connections and cross-connectivity of buildings so as to eliminate the auto-centric design that was popular several decades ago. Consequently, this site plan application incorporates some of the design themes envisioned by the conceptual plans.

Staff Recommendation: APPROVAL with conditions. *(reviewed by Town staff and Village staff)*

BACKGROUND:

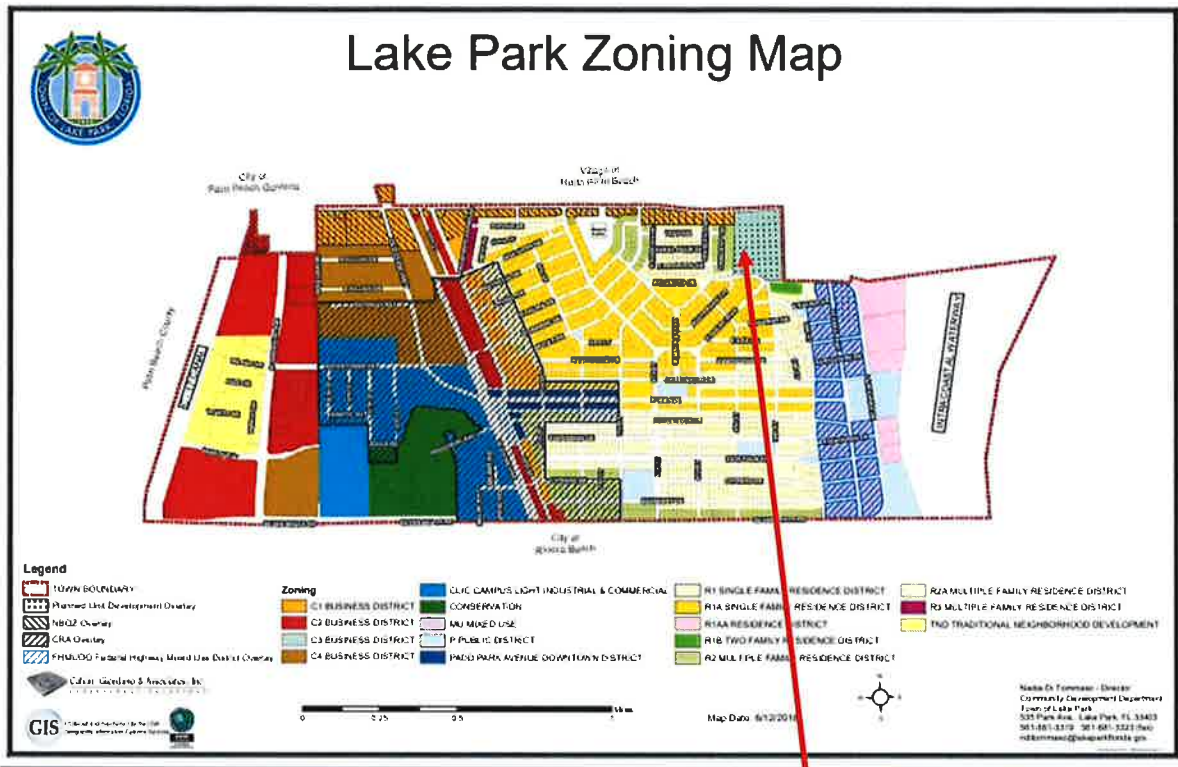
Applicant(s):	Northlake Promenade Shoppes LLC
Owner(s):	Northlake Promenade Shoppes LLC
Address/Location:	Southwest corner of Northlake Boulevard and US-1 – Parcels 9 & 10 of the Northlake Promenade Shoppes PUD
Net Acreage:	9.0544 acres
Legal Description:	Refer to Survey
Existing Zoning:	Commercial-3 / NBOZ
Future Land Use:	Commercial

(intentionally left blank)

FIGURE 1: AERIAL VIEW OF SITE



The Site



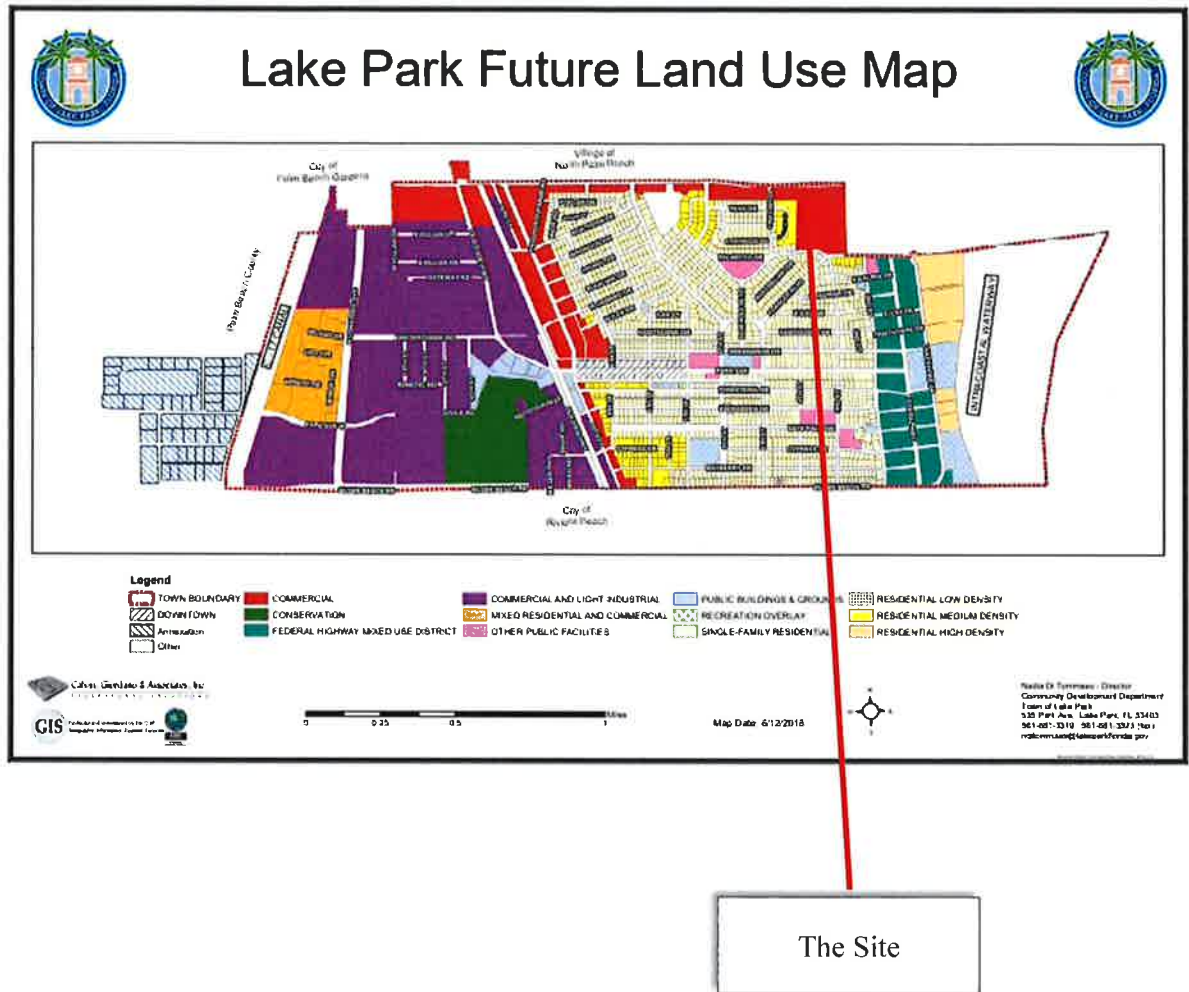
The Site

FIGURE 2: LAKE PARK ZONING MAP

Adjacent Zoning

- North: C1 (North Palm Beach - commercial across Northlake Blvd. / C3 within PUD)
- South: R1A and R1B (Lake Park - residential)
- East: C3 (Lake Park - within PUD)
- West: C1 and R2 (Lake Park - commercial along Northlake Blvd. and multi-family residential)

FIGURE 3: LAKE PARK FUTURE LAND USE MAP



Adjacent Existing Land Use

- North: Commercial
- South: Single-Family Residential and Medium Density Residential
- East: Commercial
- West: Residential Medium Density and Commercial

PART I: SITE PLAN APPLICATION

The Site Plan has been reviewed by:

- The Town's consulting Engineers, Design Architect and Landscape Architect
- Community Development Department
- Public Works Department
- Palm Beach County Sheriff's Office for Crime Prevention through Environmental Design (CPTED)
- Palm Beach County Dept. of Engineering & Public Works (Traffic Performance Standards)
- Seacoast Utilities
- Palm Beach County Fire Rescue
- A full review from the Village of North Palm Beach staff resulting in **conditions of approval #2 through #6** included herein

Based upon these reviews, Staff finds that the Site Plan meets the Land Development Regulations of the Town Code for the purposes of this application process.

The project has also been advertised in the Palm Beach Post on September 21, 2018 and certified notices to owners within 300 feet were also sent out on September 21, 2018.

SITE PLAN PROJECT DETAILS:

Building Site The Site Plan is for a proposed 65,380 square feet of new retail development, along with parking, landscaping and other site improvements within Parcels 9 and 10 of the Northlake Promenade Shoppes PUD.

Site Access The overall site are is accessible through multiple access points from Northlake Boulevard and US-1 as identified on the site plan (SP-1).

Traffic A letter from Palm Beach County confirming that the proposal meets the Traffic Performance Standards of PBC was received on June 12, 2018. Certain conditions were required and these are listed as recommended **conditions of approval #7 through #10** included herein.

Setbacks The proposed structures subject to the C-1 district setbacks and NBOZ land development regulations and is compliant:

C-3 PROPERTY DEVELOPMENT REQUIREMENTS												
PROP. CODE	ZONING DISTRICT	MINIMUM LOT DIMENSIONS			MAX. FAR	MINIMUM PERV. AREA	MAX. BLDG. COVER	MAX. BLDG. HEIGHT	SETBACKS/SEPARATIONS			
		SIZE	WIDTH	DEPTH					FRONT	SIDE	REAR	REAR
	C-3	AC.	-	-	N/A	10%	N/A	50'	30'	30'	30'	30'
	C-3	6.6467 AC.	457'	1105'	.20	19%	21%	39'-0"	290'	42'	N/A	145'

Landscaping The Town's consulting Landscape Architect finds that the site meets the landscaping regulations of the Town Code. This approval is contingent on the following conditions of approval that have been included as **conditions #11 and #12** included herein. They indicate the following:

Prior to the issuance of a development permit, planting plans are required to show the lighting locations. Applicant/Owner is responsible for any and all revisions to plans, including any additional approvals that may be required, as a result of submitting Planting Plans with lighting plans during the building permit phase only.

Site must be 100% irrigated. Prior to the issuance of a development permit, irrigation plans are required. Applicant/Owner is responsible for any and all revisions to plans, including any additional approvals that may be required, as a result of submitting irrigation plans at building permit phase only.

Paving/Grading/Drainage The Town's consulting Engineer has reviewed the Applicant's Paving, Grading and Drainage Plan and has determined that it meets engineering requirements. The standard condition of approval requiring copies of all applicable agency permits prior to the issuance of a development permit is included as **condition of approval #13**.

Parking Pursuant to the C-3 (Section 78-73) zoning district and Section 78-142 of the Town Code (*the NBOZ defers to the parking and loading standards of the jurisdiction*), the parking requirements for retail are 4 spaces per 1,000 square feet. Parcels 9 and 10 have an existing 10,424 square feet of retail with a proposed 65,380 square feet of retail for a total of 75,804 square feet. Consequently, 303 parking spaces, inclusive of 8 ADA spaces and 2 loading areas are required. The applicant meets the requirement by proposing:

303 parking spaces
11 ADA spaces
5 loading areas

Please refer to the site plan (sheet SP-1).

Signage The applicant is proposing conceptual wall signs as depicted in the proposed elevations. Wall signs are permissible and will be subject to the signage permit review process. All wall signs must retain the same type and size and will be limited to the business name. Wall signs will be reviewed in greater detail at the permitting phase and a master signage plan will be required upon signage permit submittal. This is included as **condition of approval #14**.

Photometric (Lighting) Meets the minimum illumination level requirements in the Town code pursuant to Section 54, Article III. **Condition of approval #15** included to ensure adequate lighting from dusk to dawn per the Town Code.

Zoning And Use Retail uses are permissible in the C-3 zoning district designation.

Water/ Sewer Seacoast Utility Authority provided preliminary review and will be reviewing more in detail prior to the issuance of any development permit.

Design:

The proposed structures and overall site design are required to meet the architectural design guidelines of the NBOZ. The applicant's architectural elevations illustrate several components that serve to meet the guidelines, more particularly:

- Recesses and projections on the facades
- Articulated walls on all four sides
- Elevated rooflines with articulated parapets
- Awnings
- Decorative wall light fixtures
- Wall tile accents
- Ceramic wall tile accents
- Metal Trim
- A color palette that will extend to the existing building as well
- Bike racks and benches
- Paver design within the pedestrian connections along with trellis features and a future pedestrian cross access connection to the east, and a design that facilitates connection to the west in the future as well

Please refer to the Site Plan (SP-1) and the elevations (A2.01 and A3.01)

In addition, in late 2017 and early to mid-2018, the Town of Lake Park staff and Village of North Palm Beach staff communicated on a shared vision for the overall site. At that time, the Village was already undergoing a visioning process for which Dover Kohl & Partners Town Planning Firm was tasked to create conceptual plans. Per the direction of the North Palm Beach Village Manager and Lake Park Town Manager, staff agreed on a conceptual plan for the area (enclosed). While the design still needs to move through the public input/approval process in both jurisdictions and may incorporate certain changes through these approval procedures, some common themes include street connectivity, active building forms, pedestrian connections and cross-connectivity of buildings so as to eliminate the auto-centric design that was popular several decades ago. Consequently, this site plan application incorporates an additional retail building (Building "I") to initiate this vision. Additional enhancements have also been included and **conditions #2 through #6** are also recommended to promote the conceptual plans moving forward.

Fire: PBC Fire will review the plans in greater detail as part of the building permit review process, but did not have any concerns based on their preliminary site plan review.

PBSO: The Crime Prevention through Environmental Design (CPTED) review was performed by the Palm Beach Sheriff's Office (PBSO) and recommendations were made which the applicant acknowledged (*lighting has been added to the parking and sidewalk areas and high-definition surveillance cameras that capture clear facial features within the parking areas and along the exterior facades has been acknowledged by the applicant*). No further comments from PBSO. CPTED is satisfied however, **condition of approval #16** is included to emphasize the camera(s) requirement per CPTED.

PART II: STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the Site Plan for the additional 65,380 square feet (total 75,804) of new retail development, along with parking, landscaping and other site improvements within Parcels 9 and 10 of the Northlake Promenade Shoppes PUD, **subject to the following conditions:**

1. The Applicant shall develop the Site consistent with the following Plans:

Sheet Titles	Sheet(s)	Sign and Sealed Date (<i>official file copy will include seal</i>)	Received by Community Development Date
Site Plan Packet	SP-1, SP-2, SP-3	08/29/2018	08/30/2018
Landscape Index, Landscaping Plans and Tree Disposition Plan	LI-1, LP-1, LP-2, LP-3, LP-4, LP-5 and TD-1	08/29/2018	08/30/2018

Civil Plans (Paving, Grading and Drainage)	Civil 1 through 10	06/08/2018	08/30/2018
Survey	Job No. 16-1594.24	09/28/2016	08/30/2018
Floor Plan, Elevations/Materials Schedule, and Color Renderings	A2.01, A3.01, AC3.01	05/17/2018	08/30/2018
Site Lighting Plan	E-1	06/11/2018	08/30/2018

2. The Phase 1 for Parcels 9 and 10 shall be consistent with the purpose and guidelines of the Master Plan development by Dover Kohl dated 07/25/2018. Future development shall comply with and be reviewed for consistency with the Master Plan in place at that time.
3. There is minimal landscaping identified on the landscape plans for Retail building "I," which is the additional building identified for Phase I construction by the Dover Kohl Master Plan. Additional landscaping and planter box material option/s should be established for Retail Building "I." This enhanced landscaping may include the triple palms (as shown in the rendering) or shade trees around Retail Building "I." The landscaping in the renderings should reflect the proposed material on the landscape plan.
4. The dumpster for Retail Building "I" should be flipped away from Retail building "I" to eliminate potential smells and provide additional buffer between the dumpster and the outdoor areas around said building.
5. The main east-west internal road in the entire PUD, which connects to US Highway 1, shall have a continuous pedestrian pathway to the eastern property line of the PUD and have similar trellis features, or other shade features for internal consistency with the proposed site plan modifications. A cross access easement in the approximate location where the subject property would connect to a future pedestrian pathway on the adjacent PUD parcel extending east to US-1, shall be included on the site plan prior to the Town Commission meeting.
6. The existing parking lots should be looked to add additional pedestrian pathways, or shade area of respite for pedestrians where feasible.

7. No Building Permits for the site shall be issued after December 31, 2021.

8. The Property Owner shall fund the cost of and construct a signal, if warranted, as determined by the County Engineer, on Northlake Blvd at Project's western main entrance. Signalization shall be a mast arm structure installation. The cost of signalization shall also include all design costs and any required utility relocation and right of way or easement acquisition.
 - a. No further Building Permits shall be issued until the Property Owner provides acceptable surety to the Traffic Division in an amount as determined by the Director of the Traffic Division.
 - b. In order to request release of the surety for the traffic signal at the above intersection, the Property Owner shall provide written notice to the Traffic Division stating that the final certificate of occupancy has been issued for this development and requesting that a signal warrant

9. The Property Owner shall close the easterly median opening on Northlake Blvd and subsequently extend the eastbound dual left turn lanes at US-1 intersection to the maximum extent feasible, as approved by the FDOT or County Engineer, as appropriate.
 - a. Permits required from FDOT or Palm Beach County, as appropriate, for this construction shall be obtained prior to the issuance of any further building permit.

10. Construction shall be completed prior to the issuance of any further Certificate of Occupancy.
 - a. Permits required from FDOT or Palm Beach County, as appropriate, for this construction shall be obtained prior to the issuance of any further building permit.
 - b. Construction shall be completed prior to the issuance of any further Certificate of Occupancy.

11. Prior to the issuance of a development permit, planting plans are required to show the lighting locations. Applicant/Owner is responsible for any and all revisions to plans, including any additional approvals that may be required, as a result of submitting Planting Plans with lighting plans during the building permit phase only.
12. Site must be 100% irrigated. Prior to the issuance of a development permit, irrigation plans are required. Applicant/Owner is responsible for any and all revisions to plans, including any additional approvals that may be required, as a result of submitting irrigation plans at building permit phase only.
13. Prior to the issuance of any building permit, copies of all other required permits from other agencies including but not limited to Palm Beach County Health Department, Palm Beach County Land Development Division, Northern Palm Beach County Improvement District, the Florida Department of Transportation, South Florida Water Management Division, the NOI for the Generic Permit for Stormwater Discharge from Large and Small Construction Activities (GCP) and the State of Florida Department of Environmental Protection will be required.
14. Wall signs must retain the same type and size. Content is limited to the business name. Wall signs will be reviewed in greater detail at the permitting phase and a master signage plan is required upon signage permit submittal.
15. For all access points to buildings or parking areas, including all open parking areas, minimum-maintained lighting shall be provided from dusk until 30 minutes after the termination of business each operating day. All active entrances to buildings shall provide minimum-maintained lighting from dusk until dawn.
16. High-definition surveillance cameras, which can capture clear facial features, to the parking areas as well as along the exterior façade of the building must be included. The camera(s) should be placed eye level in order to capture as much detail of any suspicious activity. Recording should be off site with internet cloud recovery available to Law Enforcement.
17. The Owner, the Applicant and their successors and assigns shall be subject to the Development Order and all conditions.
18. Construction on the Site is permitted only between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday, except holidays, unless otherwise approved in writing by the Community Development Director. Any proposed disruption to the normal flow of traffic within the right of way of Northlake Boulevard, Palmetto Drive, or US-1, or surrounding street and parking areas as part of the construction of the Site, shall also be subject to the review and approval of the Community Development Director and Public Works Director and Palm Beach County as applicable.

19. All landscaping as shown on the Site Plan and the Landscaping Plan shall be continuously maintained from the date of the issuance of the Certificate of Occupancy by the Owner. The Owner shall replace any and all dead or dying landscape material so as to maintain the quantity and quality of the landscaping shown on the approved Site Plan and Landscaping Plan.
20. The Owner shall ensure that any and all contractors use commonly accepted practices to reduce airborne dust and particulates during construction on the Site.
21. The dumpsters shall be screened as noted on the Site Plan and kept closed at all times. All dumpsters shall be acquired from the approved franchise supplier for the Town of Lake Park.
22. Prior to issuance of the Certificate of Occupancy, the Owner or Applicant shall provide certification from the Landscape Architect of record that the plant installations on the Site are in accordance with the approved Site and Landscaping Plans.
23. Any revisions to the approved Site Plan, Landscape Plan, architectural elevations, signs, Statement of Use, photometric plan, or other detail submitted as part of the Application, including, but not limited to, the location of the proposed improvements or additional, revised, or deleted colors, materials, or structures, shall be submitted to the Community Development Department and shall be subject to the required review and approval process.
24. The Owner shall initiate bona fide and continuous development of the Site within 18 months from the effective date of this Development Order. Once initiated, the development of the Site shall be completed within 18 months. Failure to do so shall render the Development Order void.
25. Cost Recovery. All professional consulting fees and costs, including legal fees incurred by the Town in reviewing the Application and billed to the Owner shall be paid to the Town within 10 days of receipt of an invoice from the Town. The failure of the Applicant to reimburse the Town within the 10 days from the town's mailing of its invoice will result in the suspension of any further review of plans or building activities, and may result in the revocation of the approved Development Order. A certificate of occupancy will not be issued if invoices are outstanding.

Exhibit "B"



Planning and Zoning Board



Town Of Lake Park

Joint Planning Meeting

October 2, 2018

6:00 pm



PERRY & TAYLOR, PA





PRESENTATION OUTLINE

2

Northlake Promenade



For over 25 year, Woolbright Development Inc. has been a leader in real estate investment by acquiring and developing neighborhood and community shopping centers throughout Florida's major metro market areas including Orlando, West Palm Beach, Ft. Lauderdale, Miami, Tampa and Jacksonville.

- Top 10 private owners of retail commercial properties in Florida
- 30 projects totaling over 5 million SF of commercial real estate

CONTENT

Site Plan Phase I	3
Phase II thru III	4-5
Phase I Detail	6-7
Images and Inspiration	8
Architecture	9-10
Q & A	11-12

Proposal

- FLU- Commercial
- Zoning PUD (C-3)
- 9.06 Acres (Yellow)

Proposed 75,804 sf.

- Ex. 10,424 Retail
- Pr. 65,804 Retail

Access:

- Existing from Perimeter (3)
 - Federal Hwy
 - Northlake
 - Palmetto

Building Layout:

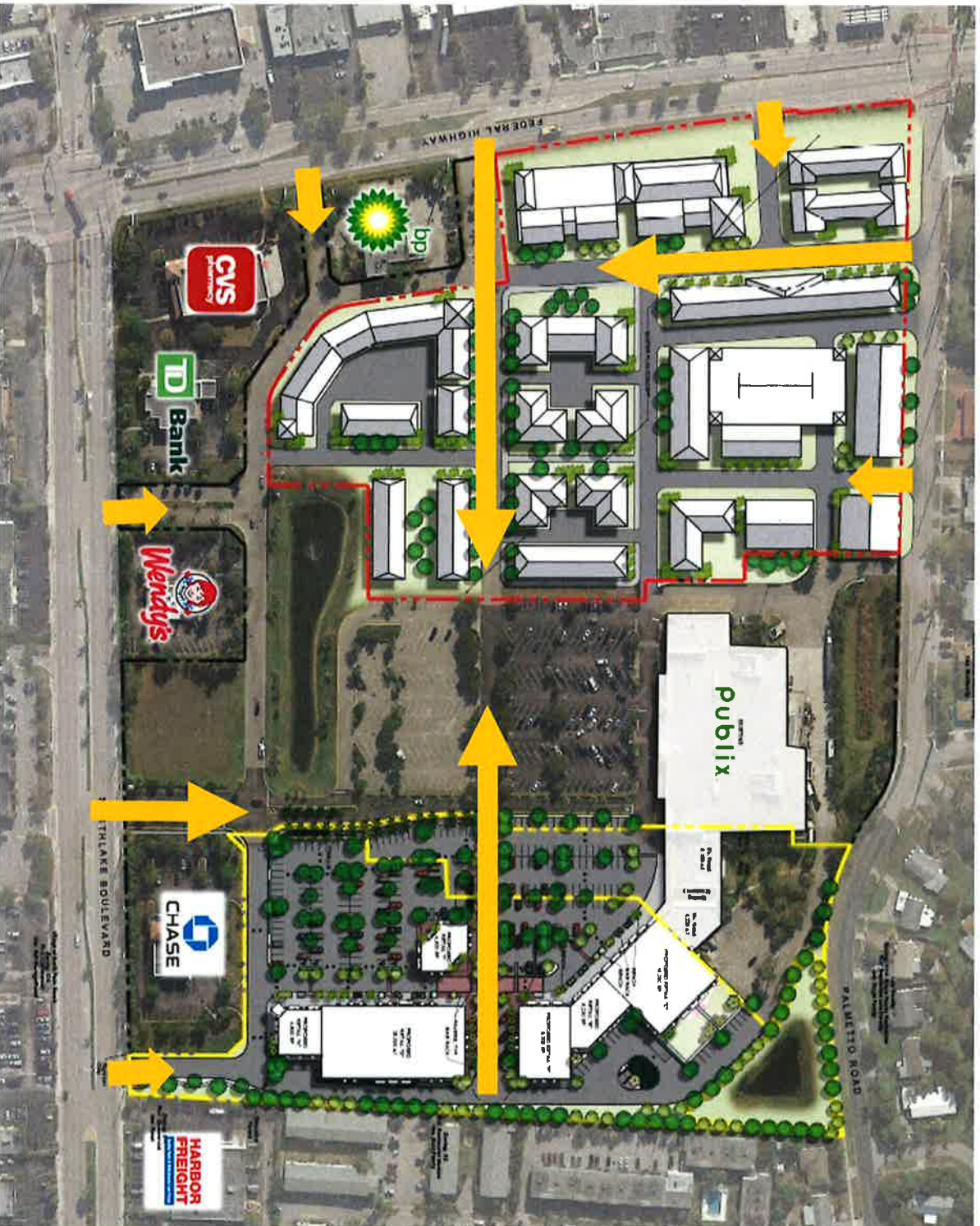
- Gap between Building
- Design for future Phases of Master Planning efforts



Design for Future

Master Planning

- Formation of Lot and Block
- Vehicular and Pedestrian Hierarchy of Circulation
- Mix of housing types.
- Walkable Community
- Convenience to daily needs.



Design for Future Master Planning

- Further Formation of Lot and Block
- Further Defined Vehicular and Pedestrian Hierarchy of Circulation
- Strengthened Connections beyond the Property Boundary
- Expanded Walkable Community





Architecture Images and Inspiration





Core of this Phase

7

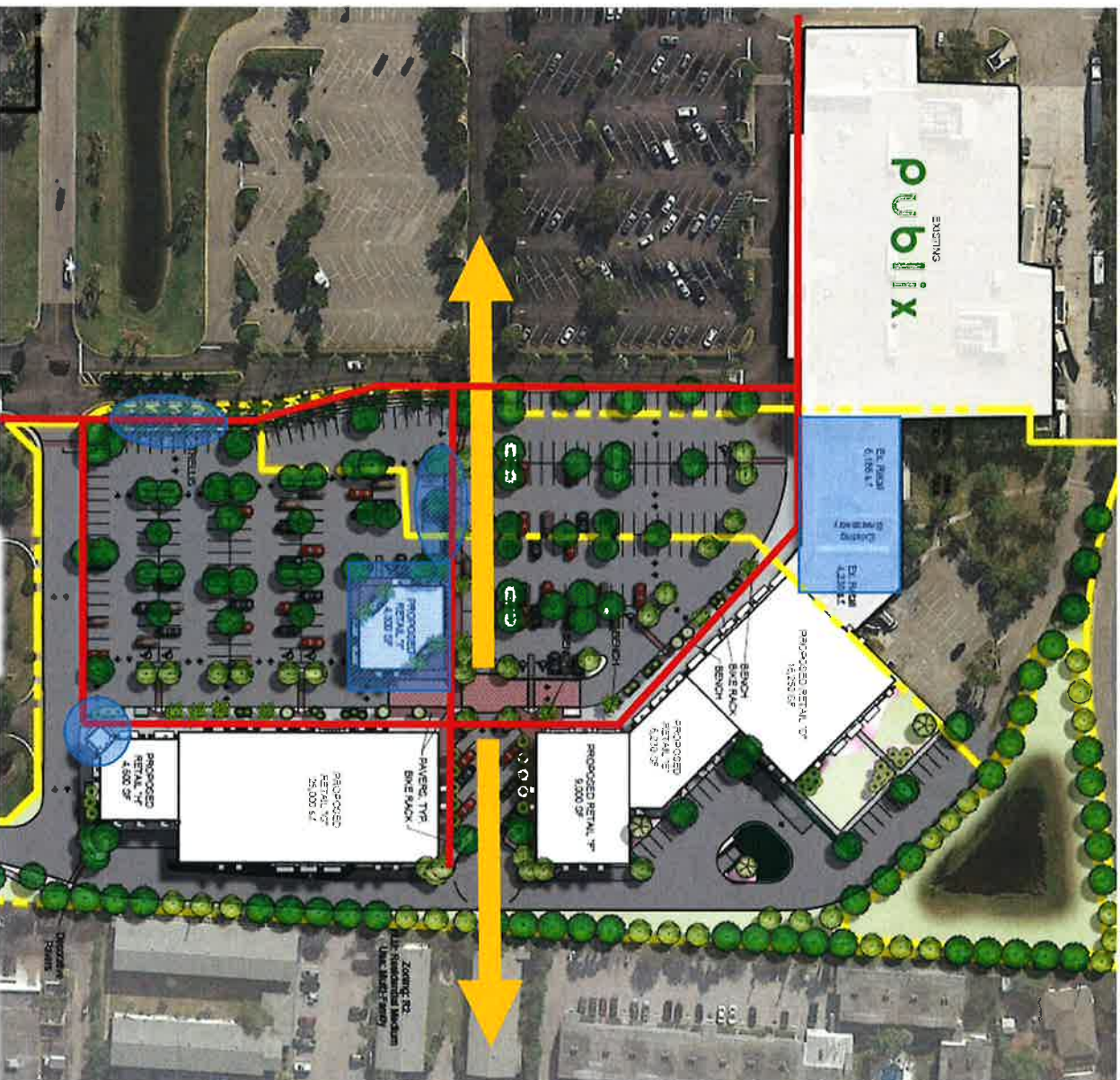
- PHASE I:**
- Existing Publix
 - Existing 10,400 sf. Retail
 - 65,000 SF Buildings D-1

Site Elements

- Break in the Buildings
- Free Standing 4k Building
- Tower Feature
- Continuous pedestrian Connections
- Pavers at main crossways
- Articulated walkways with landscape planters, benches trash cans, lighting.
- Pedestrian Trellis Structures

Potential Proposed Uses Incl:

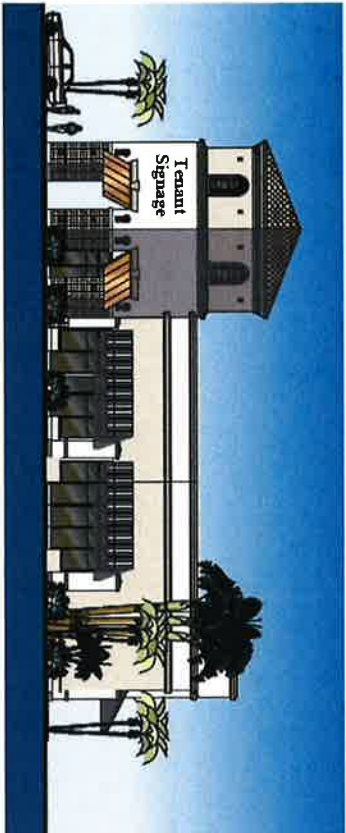
- Financial institutions;
- professional and/or medical office; personal services (dry cleaners, salons, child care, health clubs, etc.);
- restaurants; and retail.



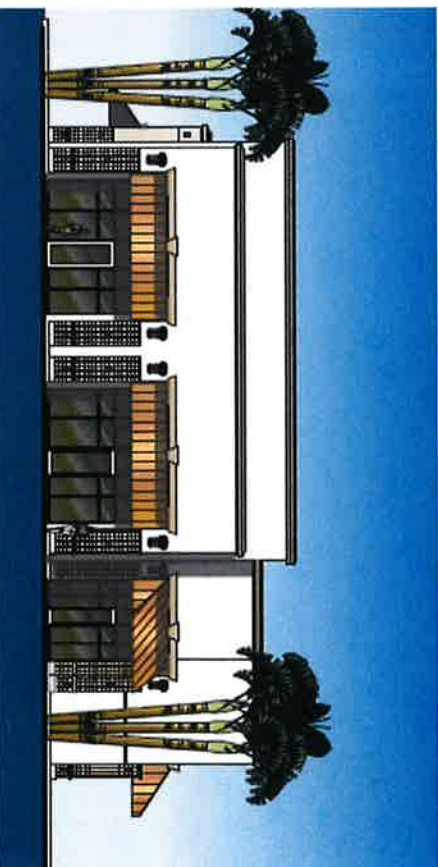


Architecture Images and Inspiration





○ RETAIL 'H' NORTH ELEVATION
SCALE 1/8"=1'-0"



○ RETAIL 'I' EAST ELEVATION
SCALE 1/8"=1'-0"

Architecture:
Tower Feature, Articulated Facades
Multiple Roof Lines, Elevations and Materials
Large Full Glazing, Awnings and Canopy's, Walkability

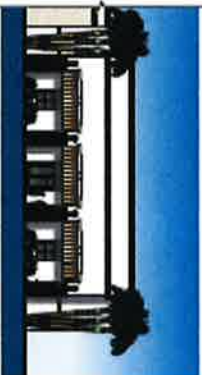


○ RETAIL 'D' NORTHEAST ELEVATION
SCALE 1/8"=1'-0"

○ RETAIL 'E' NORTHEAST ELEVATION
SCALE 1/8"=1'-0"



Architecture

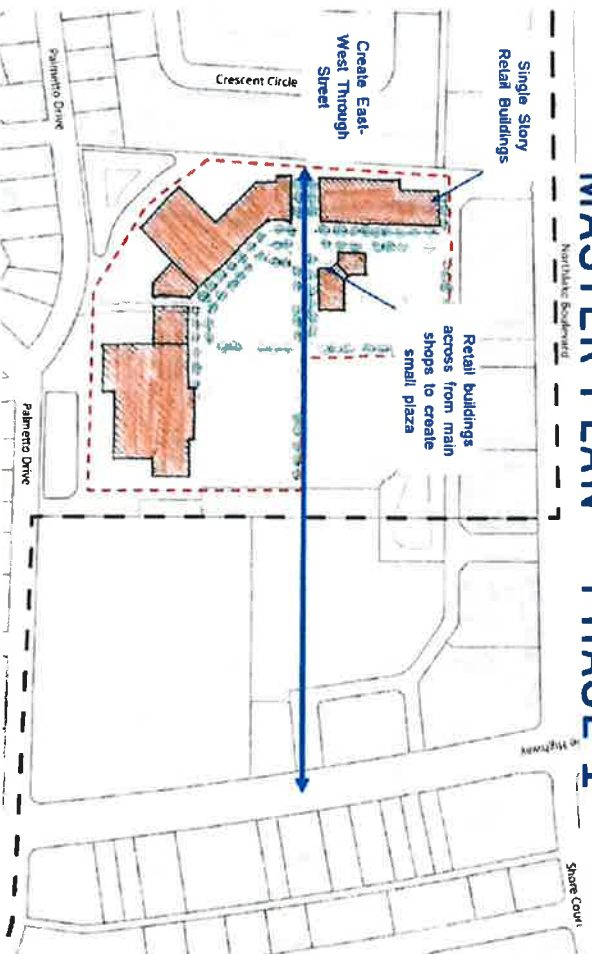


Clarification on Conditions of Approval 2 and 5

2. The Phase 1 for Parcels 9 and 10 shall be consistent with the purpose and guidelines of the Master Plan development by Dover Kohl dated xx/xx/xxxx. Future development shall comply with and be reviewed for consistency with the Master Plan in place at that time.

5. The main east-west internal road in the entire PUD, which connects to US Highway 1, shall have a continuous pedestrian pathway to the eastern property line of the PUD and have similar trellis features, or other shade features for internal consistency with the proposed site plan modifications. A cross access easement in the approximate location where the subject property would connect to a future pedestrian pathway on the adjacent PUD parcel extending east to US-1, shall be included on the site plan prior to the Town Commission meeting.

MASTER PLAN - PHASE 1





Joint Planning and Zoning Board



Questions and Answers

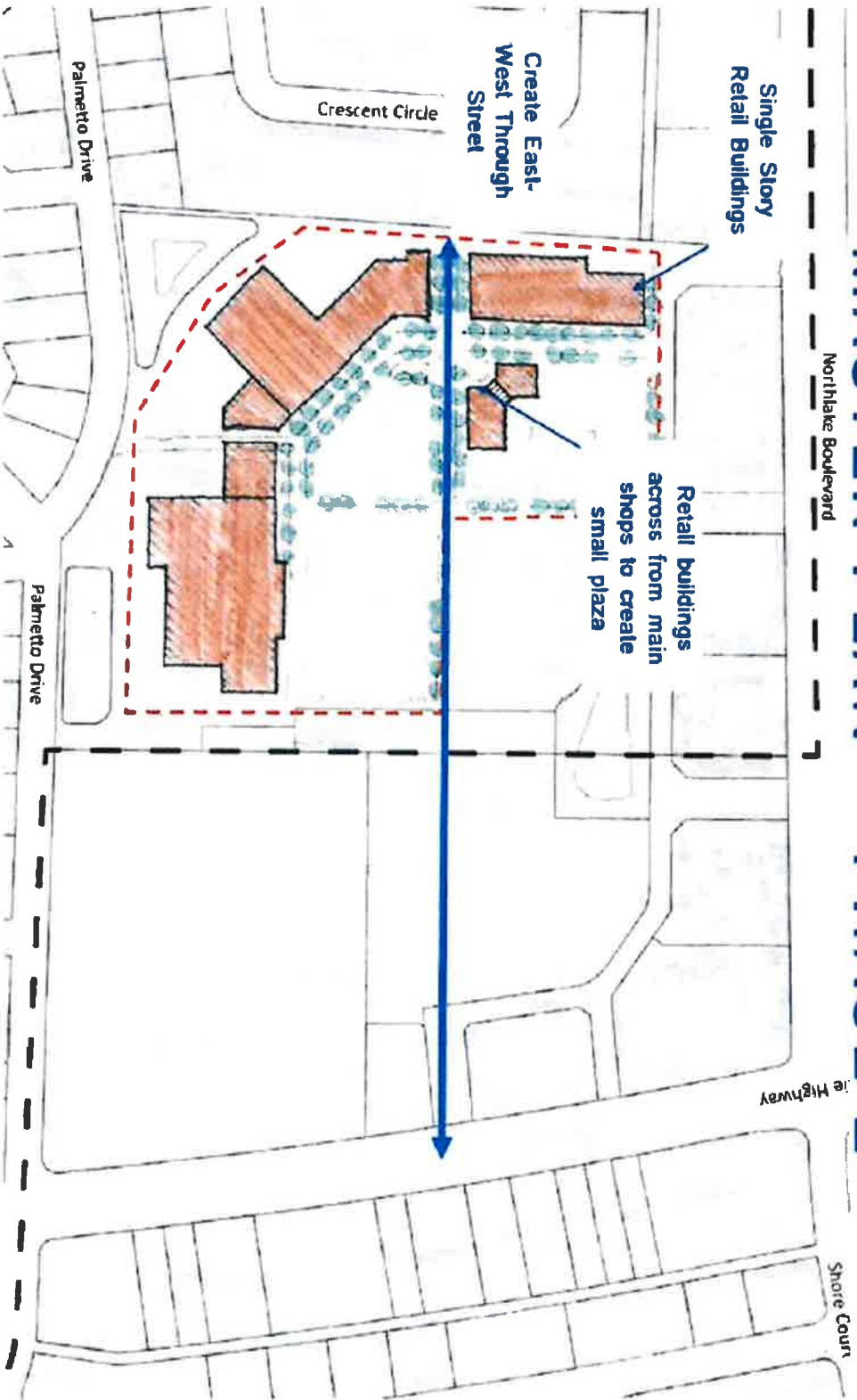


PERRY & TAYLOR, PA





MASTER PLAN - PHASE 1





**Town of Lake Park, Florida
SPECIAL CALL
PLANNING & ZONING BOARD
Meeting Minutes
October 2, 2018**

CALL TO ORDER

Vice-Chair Schneider called to order the Special Call Planning & Zoning Board Meeting at 7:17 p.m., upon the adjournment of the Joint Special Call Planning & Zoning Board Meeting with the Village of North Palm Beach Planning Commission.

ROLL CALL

Judith Thomas, Chair	Present
Martin Schneider, Vice-Chair	Present
Lawrence Malanga	Present
Charlemagne Metayer	Present
Joseph Rice	Present
John Linden (1 st Alternate)	Present

Also in attendance were Community Development Director Nadia DiTommaso, Assistant Town Attorney Karl J. Sanders and Assistant to the Community Development Director Kimberly Rowley.

Vice-Chair Schneider announced he will be operating the meeting while Chair Thomas gets up to speed.

APPROVAL OF AGENDA

Motion: Board Member Rice moved to approve the agenda; Board Member Malanga seconded the motion.

Vote on Motion:

Board Member	Aye	Nay	Other
Board Member Linden	X		
Board Member Malanga	X		
Board Member Metayer	X		
Board Member Rice	X		
Vice-Chair Schneider	X		
Chair Thomas	X		

Motion passed 6-0.

APPROVAL OF MINUTES

- Special Call Planning & Board Meeting; July 9, 2018

Motion: Board Member Rice moved to approve the Special Call Planning & Zoning Board Meeting Minutes of July 9, 2018. Board Member Metayer seconded the motion.

Vote on Motion:

Board Member	Aye	Nay	Other
Board Member Linden	X		
Board Member Malanga	X		
Board Member Metayer	X		
Board Member Rice	X		
Vice-Chair Schneider	X		
Chair Thomas	X		

Motion passed 6-0.

Public Comments

Vice-Chair Schneider explained the Public Comment procedure.

ORDER OF BUSINESS

The normal order of business for Hearings on agenda items are as follows:

- Staff presentation
- Applicant presentation (when applicable)
- Board Member questions of staff and applicant
- Public Comments – limited to 3 minutes per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on floor
- Vote of Board

NEW BUSINESS:

1. **PZ-18-006 - ON BEHALF OF MURPHY OIL USA, INC. (“PROPERTY OWNER”), GREENBERG FARROW (“APPLICANT”) IS REQUESTING THE REVIEW OF A SITE PLAN APPLICATION WHICH INCLUDES A PREVIOUSLY APPROVED SPECIAL EXCEPTION USE OF A GASOLINE STATION AND CONVENIENCE STORE, FOR THE DEMOLITION AND REDEVELOPMENT OF A 1,400 SQUARE FOOT CONVENIENCE STORE AND EIGHT (8) IN-LINE FUEL DISPENSERS UNDER A CANOPY.**

STAFF PRESENTATION

Nadia DiTommaso, Community Development Director, addressed the Planning & Zoning Board and presented the Staff Report, along with a visual of the site location. (*Attached as Exhibit "A"*). She explained that the site was previously developed and is now proposing to demolish and redevelop with a 1,400 square foot convenience store and eight (8) in-line fuel dispensers under a canopy. The site layout will remain similar to the existing site. No new entrances are proposed. The project includes demolition of the existing building, canopy, tanks with piping and dispensers, dumpster enclosure, and associated paving with curbing. Many existing shrubs and trees are to remain. The original Site Plan for the site was approved by Resolution 60-01-05, which approved a site plan and three special exception uses, including the gasoline with convenience store use, on an overall site area of 37.61 acres, which currently includes the Walmart retail store and Bank of America financial institution as well. The individual site plans were later approved for the various uses that had been approved by special exception under the Resolution. The Murphy Oil site plan as developed today was approved by Resolution 40-10-05 in October 2005. The Site is proposing a complete redevelopment of the same use (gasoline station and convenience store) that has already (previously) been granted special exception approval. The site area of 1.02 acres remains the same.

Ms. DiTommaso explained that the Town’s consulting Landscape Architect finds that the site meets the landscaping regulations of the Town Code and is proposing one condition of approval that has been included in Staff’s recommendation as follows:

To preserve the specimen live oak identified on the landscape plans, the applicant shall modify the drainage swale to ensure that no excavation occurs within 10 from the tree trunk. The tree protection barricades shall remain in place throughout all construction activities.

The Applicant is not proposing a monument sign, however, they are proposing canopy signs that consists of their name and logo along with canopy pricing signs, which are permissible by Code and illustrated on the proposed plan sheet C-1.1. The Applicant is prepared to address their signage as it relates to their selection of canopy signage rather than monument signage given visibility concerns with the perimeter landscaping currently in place.

STAFF RECOMMENDATION

Ms. DiTommaso stated that Staff recommends approval of the Site Plan for the previously approved special exception use of a gasoline station consisting of eight (8) fuel pumps and a 1,400 square foot convenience store, subject to the following Conditions:

1. The Applicant shall develop the Site consistent with the following Plans:

Sheet Titles	Sheet(s)	Sign and Sealed	Received by Community Development Date
--------------	----------	-----------------	--

		Date	
PLAN SET:		09/07/2018	09/10/2018
C-0	COVER SHEET		C-0 COVER SHEET
C-0.1	COMPOSITE SITE PLAN		C-0.1 COMPOSITE SITE PLAN
C-1	SITE PLAN		C-1 SITE PLAN
C-1.1	MASTER SIGNAGE PLAN		C-1.1 MASTER SIGNAGE PLAN
S-1	SURVEY		S-1 SURVEY
C-3	GRADING PLAN		C-3 GRADING PLAN
C-3.1	STORM SEWER PLAN		C-3.1 STORM SEWER PLAN
C-3.3	PRE-DEVELOPED DRAINAGE P		C-3.3 PRE-DEVELOPED DRAINAGE PLAN
C-3.4	POST-DEVELOPED DRAINAGE P		C-3.4 POST-DEVELOPED DRAINAGE PLAN
C-4	EROSION CONTROL PHASE 1		C-4 EROSION CONTROL PHASE 1
C-4.1	EROSION CONTROL PHASE 2		C-4.1 EROSION CONTROL PHASE 2
C-4.2	EROSION & SEDIMENT CONTR		C-4.2 EROSION & SEDIMENT CONTROL DETAILS
C-4.3	EROSION & SEDIMENT CONTR		C-4.3 EROSION & SEDIMENT CONTROL DETAILS
C-5	DEMOLITION PLAN		C-5 DEMOLITION PLAN
C-5.1	TREE DISPOSITION PLAN		C-5.1 TREE DISPOSITION PLAN
C-6	UTILITY PLAN		C-6 UTILITY PLAN
C-7	PAVING/JOINT LAYOUT PLAN		C-7 PAVING/JOINT LAYOUT PLAN
C-9	TRUCK ROUTE PLAN		C-9 TRUCK ROUTE PLAN
LS1	LANDSCAPE PLAN		LS1 LANDSCAPE PLAN
LS2	LANDSCAPE DETAILS		LS2 LANDSCAPE DETAILS
LS3	IRRIGATION HEAD LAYOUT		LS3 IRRIGATION HEAD LAYOUT
LS4	IRRIGATION DETAILS		LS4 IRRIGATION DETAILS
C-12	DETAIL SHEET		C-12 DETAIL SHEET
C-13	DETAIL SHEET		C-13 DETAIL SHEET
C-14	DETAIL SHEET		C-14 DETAIL SHEET
C-15	DETAIL SHEET		C-15 DETAIL SHEET
C-16	DETAIL SHEET		C-16 DETAIL SHEET
L-1.0	PHOTOMETRIC PLAN		L-1.0 PHOTOMETRIC PLAN
Architectural Rendering	WM#3348	N/A	09/10/2018
Exterior Elevations	E1, E2, CNP-E2	09/07/2018	09/10/2018

1. Prior to the issuance of any building permit, copies of all other required permits from other agencies including but not limited to Palm Beach County Health Department, Palm Beach County Land Development Division, Northern Palm Beach County Improvement District, the Florida Department of Transportation, South Florida Water Management Division, the NOI for the Generic Permit for Stormwater Discharge from Large and Small Construction Activities (GCP) and the State of Florida Department of Environmental Protection will be required.

2. To preserve the specimen live oak identified on the landscape plans, the applicant shall modify the drainage swale to ensure that no excavation occurs within 10 feet from the tree trunk. The tree protection barricades shall remain in place throughout all construction activities. *(Read into the record)*
3. For all access points to buildings or parking areas, including all open parking areas, minimum-maintained lighting shall be provided from dusk until 30 minutes after the termination of business each operating day. All active entrances to buildings shall provide minimum-maintained lighting from dusk until dawn.
4. The Owner, the Applicant and their successors and assigns shall be subject to the Development Order and all conditions.
5. Construction on the Site is permitted only between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday, except holidays, unless otherwise approved in writing by the Community Development Director. Any proposed disruption to the normal flow of traffic within the right of way of Congress Avenue, Silver Beach Road, or Park Avenue West, or any other surrounding streets or parking areas as part of the construction of the Site, shall also be subject to the review and approval of the Community Development Director and Public Works Director and Palm Beach County as applicable.
6. All landscaping as shown on the Site Plan and the Landscaping Plan shall be continuously maintained from the date of the issuance of the Certificate of Occupancy by the Owner. The Owner shall replace any and all dead or dying landscape material so as to maintain the quantity and quality of the landscaping shown on the approved Site Plan and Landscaping Plan.
7. The Owner shall ensure that any and all contractors use commonly accepted practices to reduce airborne dust and particulates during construction on the Site.
8. The dumpsters shall be screened as noted on the Site Plan and kept closed at all times. All dumpsters shall be acquired from the approved franchisor for the Town of Lake Park.
9. Prior to issuance of the Certificate of Occupancy, the Owner shall provide certification from the Landscape Architect of record that the plant installations on the Site are in accordance with the approved Site and Landscaping Plans.
10. Any revisions to the approved Site Plan, Landscape Plan, architectural elevations, signs, Statement of Use, photometric plan, or other detail submitted as part of the Application, including, but not limited to, the location of the proposed improvements or additional, revised, or deleted colors, materials, or structures, shall be submitted to the Department and shall be subject to its review and approval.

11. The Owner shall initiate bona fide and continuous development of the Site within 18 months from the effective date of this Development Order. Once initiated, the development of the Site shall be completed within 18 months. Failure to do so shall render the Development Order void.
12. Cost Recovery. All professional consulting fees and costs, including legal fees incurred by the Town, including those for the review and preparation of a Development Order shall be paid to the Town within 10 days of receipt of an invoice from the Town. The failure of the Applicant to reimburse the Town within the 10 days from the town's mailing of its invoice will result in the suspension of any further review of the Application, including its consideration by the Commission.

APPLICANT PRESENTATION

Ms. Jillian Janovsky, Project Leader for Greenburg Farrow (an International architecture and engineering firm) addressed the Planning & Zoning Board and stated they are working with Murphy Oil on this property. Ms. Janovsky introduced Mr. Drew Boshears, Store Development Project Manager for Murphy USA. Mr. Boshears stated that Murphy USA is optimistic for South Florida and then provided the history of Murphy USA. Mr. Boshears explained that Murphy USA is not affiliated with Walmart. He stated that Murphy has 1,500+ stores in 27 states in the United States. Murphy USA has identified their top performing stores that they want to provide with a face-lift and Lake Park has been selected.

Mr. Janovsky provided a Power Point Presentation to the Board (attached as Exhibit "B"). She explained they are redeveloping the existing site, which opened in 2007, to give it a more desirable look since it is the gateway into the Town. The current convenience store is 500 square feet and is proposed to be 1,400 square feet, with eight pumps and sixteen fill positions. She reviewed the proposed site plan; the truck turning plan for maintaining safety; proposed utility plan; proposed landscaping plan; proposed elevations and architecture; proposed canopy; the color palette renderings (earth tones) and the details of the dumpster enclosure (which will be locked at all times).

PUBLIC COMMENTS

There were no public comments.

BOARD DISCUSSION

Board discussion ensued regarding the Site Plan Application and clarifications/questions/concerns were addressed with the Applicant and Staff regarding: turn lanes for trucks; access point locations; the possible reduction of landscaping in order to provide greater visibility of the site; color palette consistency/uniformity with Walmart; landscaping, canopy sign and monument signage visibility. Chair Thomas expressed concern with the maintenance of the median and asked the Applicant if they might be willing to do an Adopt-A-Road Program along Congress Avenue from Silver Beach Road to Park Avenue West. Mr. Boshears stated they may be interested but would need

additional details. He stated if there is a program/organization that Murphy USA could donate to then they could be willing. It was agreed that Murphy USA would work with staff to look into an Adopt-A-Road Program. Chair Thomas commented on the problem of abandoned grocery carts and trash/debris in the site area as it is unsightly. Vice-Chair Schneider expressed concerns regarding the proposed landscaping as well as the landscaping buffer and the visibility of the monument sign. Town Attorney Sanders asked the Applicant if the architectural color scheme will be consistent with Walmart and if the development plans are required to be submitted to Walmart. Upon conclusion of the discussion, it was agreed that additional conditions would be added relating to color palette consistency; monument/canopy signage; landscaping buffer and an Adopt-A-Road Program.

Chair Thomas asked for a motion.

Motion:

Board Member Metayer made a motion for approval. Chair Thomas seconded the approval of Staff's recommendation, with a condition to ensure there is a color palette that is consistent with Walmart. There was additional discussion. Vice-Chair Schneider asked Board Member Metayer to amend the motion: to have the Applicant coordinate with Staff to look into an Adopt-A-Road Program; to ensure the color palette coordinates the Walmart Plaza; to work with Staff to see if a monument sign can be added in place of the canopy price sign; to require that any trimming to the landscape buffer be done by a certified landscape professional for review by the Town; to replace the twelve Oaks with either Oaks green or silver Buttonwood or other similar native trees and have only Tabebuia as accent trees. Board Member Metayer accepted the amended motion and Chair Thomas seconded the amended motion.

The vote on the motion was as follows:

Board Member	Aye	Nay	Other
Board Member Linden	X		
Board Member Malanga	X		
Board Member Metayer	X		
Board Member Rice	X		
Vice-Chair Schneider	X		
Chair Thomas	X		

Motion passed 6-0.

Chair Thomas asked the Applicant when construction is anticipated to begin and when should conclude. Mr. Boshears stated the hope is to begin construction in March 2019 and will be an 84-day construction period. Ms. Janovsky stated the building plans are in the works and will be submitted upon Town Commission approval.

PLANNING & ZONING BOARD COMMENTS

Chair Thomas asked that the Town Commission look into providing ground lighting at the neighborhood parks due to the activity that is going on in the parks at night.

Alternate Board Member Linden announced he will be resigning from the Planning & Zoning Board because he will be running for Town Commission. He expressed thanks to the Board for a phenomenal learning experience. The Board Members thanked him for his service.

Alternate Board Member Linden commented on the problem of abandoned shopping carts throughout the Town and stated if anyone comes up with a solution or idea on how to solve the problem to please include him. There was discussion regarding the shopping cart problem in Town. Vice-Chair Schneider suggested the Town might research and create an warning, similar to the prohibiting of snipe signs on the right-of-way.


COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

Ms. DiTommaso stated that project updates will be provided at the next Planning & Zoning Board Meeting.

ADJOURNMENT

There being no further business to come before the Planning & Zoning Board, the meeting adjourned at 8:11 p.m.

Judith Thomas, Chair
Town of Lake Park Planning & Zoning Board



Kimberly Rowley
Assistant to the Community Development Director

Approved on this _____ of _____, 2018



**TOWN LAKE OF PARK
PLANNING & ZONING BOARD**

SPECIAL CALL MEETING DATE:	October 2, 2018 – <i>immediately following the Joint Special Call Meeting that commences at 6:00 P.M.</i>
PROJECT:	PZ18-006 Murphy Oil

SITE PLAN APPLICATION

STAFF REPORT

SUMMARY OF APPLICANT'S REQUEST:

On behalf of Murphy Oil USA, Inc. ("Property Owner"), Greenberg Farrow ("Applicant") is requesting the review of a site plan application which includes a previously approved special exception use of a gasoline station and convenience store. The site was previously developed and is now proposing to demolish and redevelop with a 1,400 square foot convenience store and eight (8) in-line fuel dispensers under a canopy. The site layout will remain similar to the existing site. No new entrances are proposed. The project includes demolition of the existing building, canopy, tanks with piping and dispensers, dumpster enclosure, and associated paving with curbing. Many existing shrubs and trees are to remain. The site is located on a 1.02 acre parcel located at 103 N. Congress Avenue in the Town of Lake Park, Florida, identified by PCN: 36-43-42-19-21-000-0012 ("Site").

The Site has a "Commercial and Light Industrial" future land use designation. The Site has a Commercial-2 Business District (C-2) zoning designation. The original Site Plan for the site was approved by Resolution 60-01-05 which approved a site plan and three special exception uses, including the gasoline with convenience store use, on an overall site area of 37.61 acres, which currently includes the Walmart retail store and Bank of America financial institution as well. The Site is proposing a complete redevelopment of the same use (gasoline station and convenience store) that has already (previously) been granted special exception approval. The site area of 1.02 acres remains the same.

Staff Recommendation: APPROVAL with conditions.

BACKGROUND:

Applicant(s):	Greenberg Farrow
Owner(s):	Murphy Oil USA, Inc.
Address/Location:	103 North Congress Avenue, Lake Park, FL 33403
Net Acreage:	1.02 acres
Legal Description:	Refer to Survey
Existing Zoning:	C2 – Business District
Future Land Use:	Commercial and Light Industrial

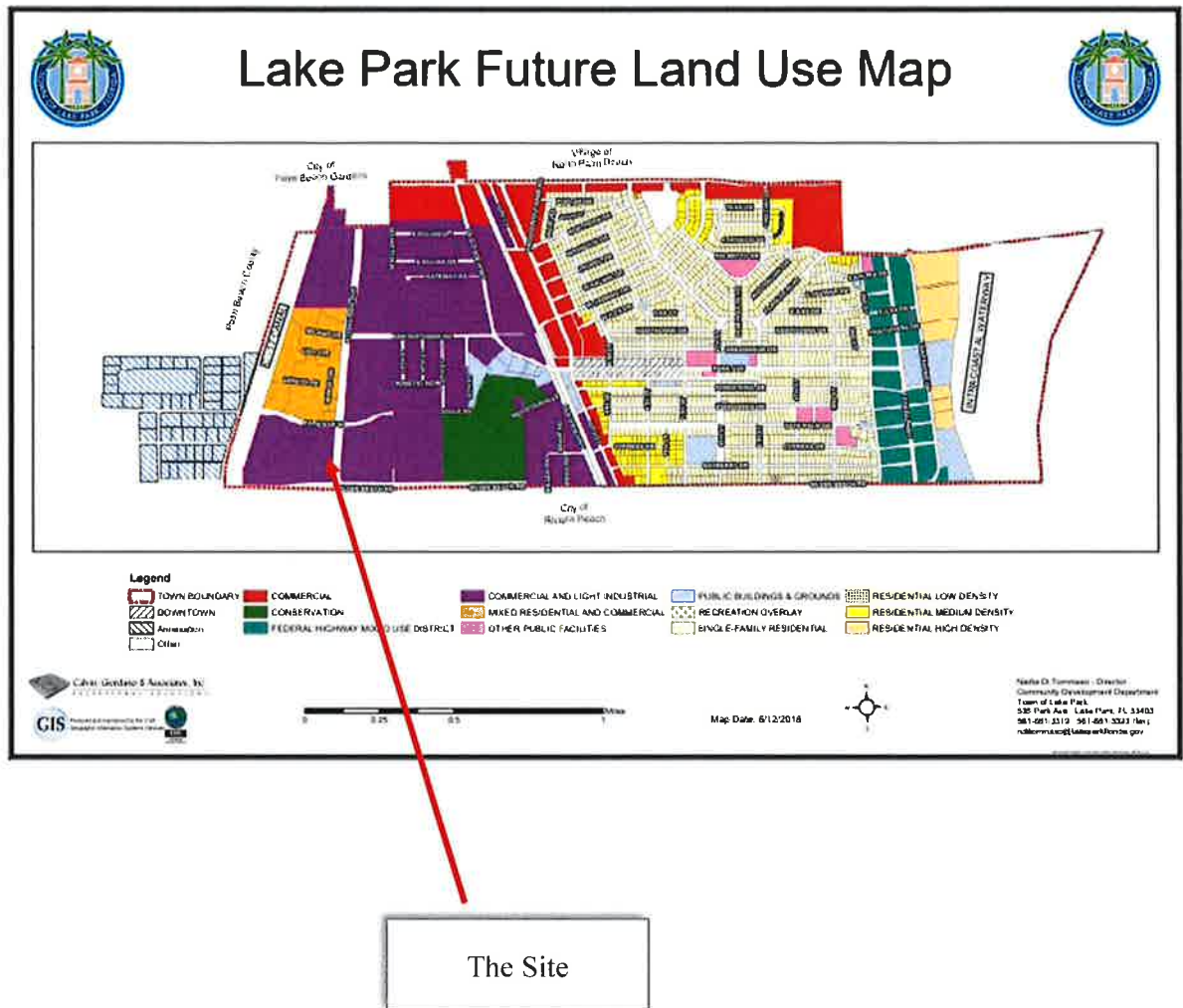
(intentionally left blank)

FIGURE 1: AERIAL VIEW OF SITE



The Site

FIGURE 3: LAKE PARK FUTURE LAND USE MAP



Adjacent Existing Land Use

- North: Commercial and Light Industrial
- South: Residential (City of Riviera Beach)
- East: Commercial and Light Industrial
- West: Commercial and Light Industrial (Unincorporated Palm Beach County)

PART I: APPLICATION FOR A SITE PLAN AND SPECIAL EXCEPTION USE

The Site Plan has been reviewed by:

- The Town's consulting Engineers, Design Architect and Landscape Architect
- Community Development Department
- Public Works Department
- Palm Beach County Sheriff's Office for Crime Prevention through Environmental Design (CPTED)
- Palm Beach County Dept. of Engineering & Public Works (Traffic Performance Standards)
- Seacoast Utilities
- Palm Beach County Fire Rescue

Based upon these reviews, Staff finds that the Site Plan meets the Land Development Regulations of the Town Code for the purposes of this application process.

The project has also been advertised in the Palm Beach Post on September 21, 2018 and certified notices to owners within 300 feet were also mailed on September 20, 2018.

SITE PLAN PROJECT DETAILS:

Building Site:

The Site Plan is for the demolition of an existing station and redevelopment of a proposed 8 fuel pump gasoline station with a 1,400 square foot convenience store to be located at 103 North Congress Avenue, Lake Park, Florida.

Site Access:

The site is accessible through one internal access that connects to various external access points leading in the overall site from Silver Beach Road, Congress Avenue and Park Avenue West.

Traffic:

A letter from Palm Beach County confirming that the proposal meets the Traffic Performance Standards of PBC was received and is dated September 12, 2018.

Setbacks:

The proposal meets the required setbacks as follows:

DESCRIPTION	REQUIRED	PROPOSED
BUILDING SETBACKS (MINIMUM)		
FRONT:	25'	67.6'
SIDE (INTERIOR):	15'	37.79'
SIDE (ROW):	15'	57.47'
REAR:	15'	61.66'
SIGNAGE SETBACKS (MINIMUM)		
FRONT:	5' (20' PRICE)	72.15'
SIDE (ROW):	5' (20' PRICE)	59.12'
PARKING SETBACKS (MINIMUM)		
FRONT:	20'	20.44'
SIDE (INTERIOR):	5'	66.38'
SIDE (ROW):	20'	104.07'
REAR:	5'	43.11'
TRASH ENCLOSURE SETBACKS (MINIMUM)		
FRONT:	20'	29.94'
SIDE (INTERIOR):	5'	7.79'
SIDE (ROW):	15'	223.53'
REAR:	5'	141.78'

Landscaping:

The Town's consulting Landscape Architect finds that the site meets the landscaping regulations of the Town Code and is proposing one condition of approval that has been included in staff's recommendation as follows:

To preserve the specimen live oak identified on the landscape plans, the applicant shall modify the drainage swale to ensure that no excavation occurs within 10 from the tree trunk. The tree protection barricades shall remain in place throughout all construction activities.

**Paving/Grading/
Drainage:**

The Town's consulting Engineer has reviewed the Applicant's Paving, Grading and Drainage Plan and has determined that it meets engineering requirements. The standard condition of approval requiring copies of all applicable agency permits prior to the issuance of a building permit is included as a condition of approval.

Parking:

Pursuant to Town Code Section 78-142, the site meets the parking requirements as follows:

DESCRIPTION	BUILDING AREA (S.F)	REQUIRED:			
		RATIO /1000 S.F.	REGULAR	ACCESSIBLE	TOTAL
MURPHY OIL	1400	4	5	1	6
STALL DIMENSIONS:		PROVIDED:			
90': 10' x 18.5'		RATIO /1000 S.F.	REGULAR	ACCESSIBLE	TOTAL
ADA: 12.5 X 18.5		4	5	1	6

Signage:

The applicant is not proposing a monument sign, but rather canopy name/logo signs and canopy pricing signs which are permissible by Code and illustrated on the proposed plan sheet C-1.1 as follows:

SIGN	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
21K MURPHY USA CANOPY LOGO	2	GRAPHIC AREA		47.96	95.92
21L SMALL CANOPY PRICE SIGN	1	2.354	5.083	11.97	11.97
TOTAL SIGNAGE:					107.89

Photometric (Lighting):

Meets the minimum requirements in the Town code pursuant to Section 54, Article III. A condition of approval has been included in the recommendations to ensure adequate lighting from dusk to dawn per the Town Code.

Zoning

“Gasoline Station and Convenience Store” is a use permissible by special exception approval in the C-2 zoning district, which was previously approved by Resolution 60-01-05.

Water/Sewer:

Seacoast Utility Authority provided preliminary review and will be reviewing more in detail prior to the issuance of any development permit.

Design:

The proposal meets the architectural guidelines of the Town Code. The Applicant provided the following justifications that explain how the Code is being met:

78-330: The general provisions are acknowledged and complied. Building will be designed to be compatible with the surrounding environment to achieve an overall, unified design and character. Factor taking into consideration include massing building to encourage and allow pedestrian access between sites and structures. Providing variety of protective features, such as awnings. The size, location, and shape of windows and doors. Please reference the provided rendering for more details.

78-331: The code words, terms, and phrases used in this article are acknowledged.

78-332: The design treatments are acknowledged and complied. Canopies is integrated with the building's massing and style. Overhands are proportional in size to the mass of the building. Pedestrian amenities are provided such as trash receptacles. Peaked roofs are provided with minimum of 12-inch overhangs. Architectural treatment on all four facades/elevations are provided. Please reference the provided rendering and elevation plans for more details.

78-333: The building façade and elevation requirement are acknowledged and complied. Projections are in compliance with a minimum of 12 inches in depth along a minimum of 20 percent of the total length of the façade. Please reference the provided rendering and elevations plans for more details on materials that are used which are in compliance.

78-334: The building color and finish requirements are acknowledged and complied. Exterior finished color includes thin brick veneer- light sandstone velour by Endicott (wire cut finish), empire ivory velour by Carolina ceramics (wire cut finish), Dormer Brown SW#7521, and Parchment by Berridge. Please reference the rendering and elevations plans for more details.

78-335: Pedestrian walkways and bike rack are provided. Please reference sheet C-1. Building height are in compliance with max height of 23'-6" at top of mansard. Mechanical equipment screening is provided on rooftop.

78-336: The window and door treatments requirement are acknowledged and complied. Windows trim color are in contrast with the principal color of structure. Large round level storefront windows, consisting of at least 50 percent of the wall area of the storefront are to remain clear of curtains, shutters, or similar visual barrier which would obacure interior displays or activities. The doors are scaled and proportionate to balance of structure. Awnings reflect colors that complement the existing architecture and not detract from the storefront of from adjacent storefronts. The doors and windows are made of high quality glass, aluminum, stainless steel and wood.

78-337: The preferred roof materials and styles are acknowledged and complied. Flat roofs with an articulated parapet of four feet in height are proposed. Roof features are in scale with the building's mass and complement the character of adjoining and/or adjacent buildings or properties. Please reference the provided rendering and elevation plans for more details.

The applicant meets the requirements of the Code.

Fire:

PBC Fire will review the plans in greater detail as part of the building permit review process. They requested the addition of a fire hydrant in this review which the applicant added to their Utility Plan (for which Fire approved on a temporary site plan basis). Detailed plans will be reviewed more in detail at the building permit phase.

PBSO:

The Crime Prevention through Environmental Design (CPTED) review was performed by the Palm Beach Sheriff's Office (PBSO) and there are no outstanding comments at this time.

PART II: STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the Site Plan for the previously approved special exception use of a gasoline station consisting of 8 fuel pumps and a 1,400 square foot convenience store, **subject to the following conditions:**

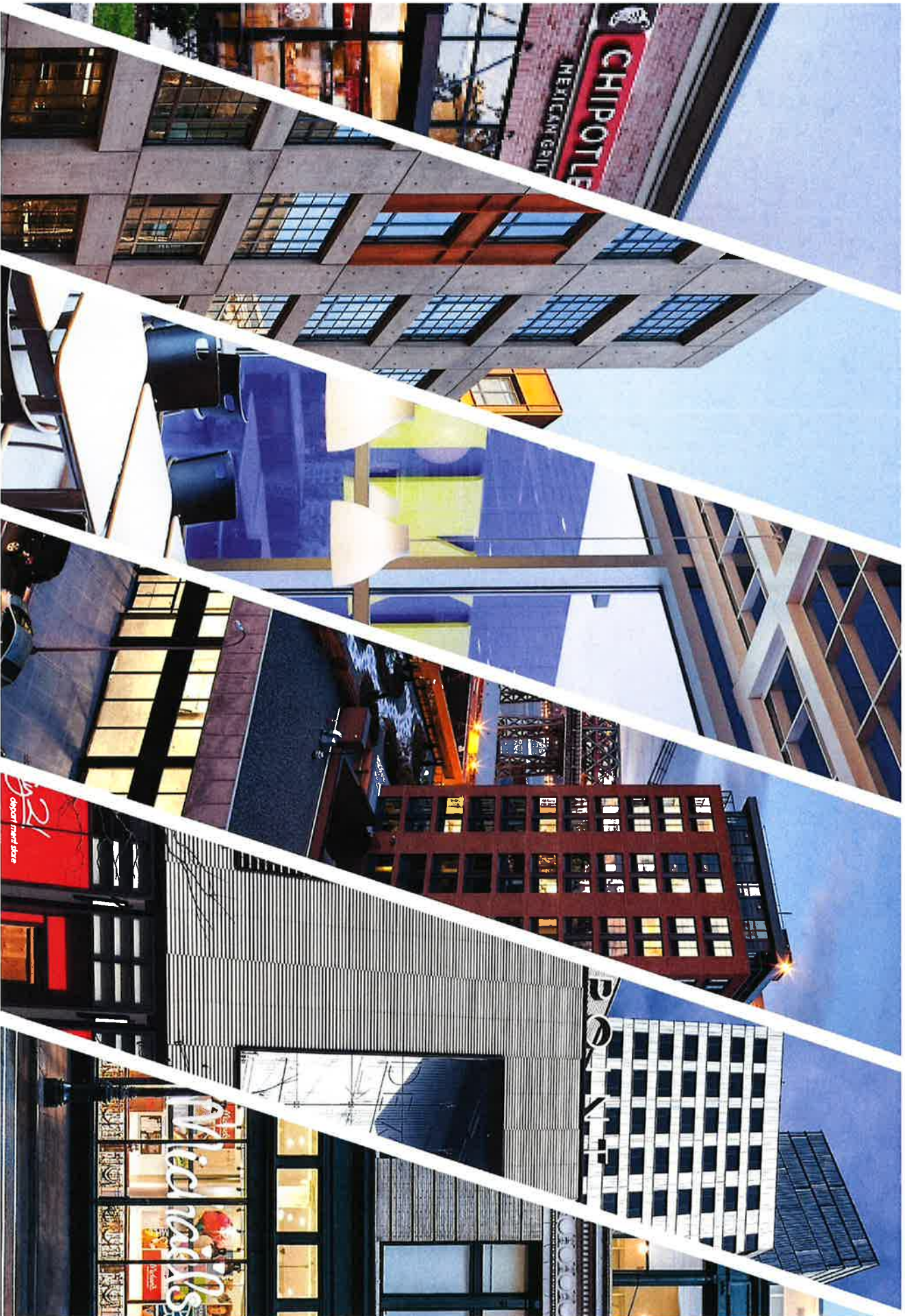
1. The Applicant shall develop the Site consistent with the following Plans:

Sheet Titles	Sheet(s)	Sign and Sealed Date	Received by Community Development Date
PLAN SET: C-0 COVER SHEET C-0.1 COMPOSITE SITE PLAN C-1 SITE PLAN C-1.1 MASTER SIGNAGE PLAN S-1 SURVEY C-3 GRADING PLAN C-3.1 STORM SEWER PLAN C-3.3 PRE-DEVELOPED DRAINAGE PLAN C-3.4 POST-DEVELOPED DRAINAGE PLAN C-4 EROSION CONTROL PHASE 1 C-4.1 EROSION CONTROL PHASE 2 C-4.2 EROSION & SEDIMENT CONTROL DETAILS C-4.3 EROSION & SEDIMENT CONTROL DETAILS C-5 DEMOLITION PLAN C-5.1 TREE DISPOSITION PLAN C-6 UTILITY PLAN C-7 PAVING/JOINT LAYOUT PLAN C-9 TRUCK ROUTE PLAN LS1 LANDSCAPE PLAN LS2 LANDSCAPE DETAILS LS3 IRRIGATION HEAD LAYOUT LS4 IRRIGATION DETAILS C-12 DETAIL SHEET C-13 DETAIL SHEET C-14 DETAIL SHEET C-15 DETAIL SHEET C-16 DETAIL SHEET L-1.0 PHOTOMETRIC PLAN		09/07/2018	09/10/2018
Architectural Rendering	WM#3348	N/A	09/10/2018
Exterior Elevations	E1, E2, CNP-E2	09/07/2018	09/10/2018

1. Prior to the issuance of any building permit, copies of all other required permits from other agencies including but not limited to Palm Beach County Health Department, Palm Beach County Land Development Division, Northern Palm Beach County Improvement District, the Florida Department of Transportation, South Florida Water Management Division, the NOI for the Generic Permit for Stormwater Discharge from Large and Small Construction Activities (GCP) and the State of Florida Department of Environmental Protection will be required.
2. To preserve the specimen live oak identified on the landscape plans, the applicant shall modify the drainage swale to ensure that no excavation occurs within 10 from the tree trunk. The tree protection barricades shall remain in place throughout all construction activities.
3. For all access points to buildings or parking areas, including all open parking areas, minimum-maintained lighting shall be provided from dusk until 30 minutes after the termination of business each operating day. All active entrances to buildings shall provide minimum-maintained lighting from dusk until dawn.
4. The Owner, the Applicant and their successors and assigns shall be subject to the Development Order and all conditions.
5. Construction on the Site is permitted only between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday, except holidays, unless otherwise approved in writing by the Community Development Director. Any proposed disruption to the normal flow of traffic within the right of way of Congress Avenue, Silver Beach Road, or Park Avenue West, or any other surrounding streets or parking areas as part of the construction of the Site, shall also be subject to the review and approval of the Community Development Director and Public Works Director and Palm Beach County as applicable.
6. All landscaping as shown on the Site Plan and the Landscaping Plan shall be continuously maintained from the date of the issuance of the Certificate of Occupancy by the Owner. The Owner shall replace any and all dead or dying landscape material so as to maintain the quantity and quality of the landscaping shown on the approved Site Plan and Landscaping Plan.
7. The Owner shall ensure that any and all contractors use commonly accepted practices to reduce airborne dust and particulates during construction on the Site.
8. The dumpsters shall be screened as noted on the Site Plan and kept closed at all times. All dumpsters shall be acquired from the approved franchisor for the Town of Lake Park.
9. Prior to issuance of the Certificate of Occupancy, the Owner shall provide certification from the Landscape Architect of record that the plant installations on the Site are in accordance with the approved Site and Landscaping Plans.
10. Any revisions to the approved Site Plan, Landscape Plan, architectural elevations, signs, Statement of Use, photometric plan, or other detail submitted as part of the Application, including, but not limited to, the location of the proposed improvements or additional, revised, or deleted colors, materials, or structures, shall be submitted to the Department and shall be subject to its review and approval.

11. The Owner shall initiate bona fide and continuous development of the Site within 18 months from the effective date of this Development Order. Once initiated, the development of the Site shall be completed within 18 months. Failure to do so shall render the Development Order void.
12. Cost Recovery. All professional consulting fees and costs, including legal fees incurred by the Town, including those for the review and preparation of a Development Order shall be paid to the Town within 10 days of receipt of an invoice from the Town. The failure of the Applicant to reimburse the Town within the 10 days from the town's mailing of its invoice will result in the suspension of any further review of the Application, including its consideration by the Commission.

Exhibit "B"



Murphy USA Lake Park Redevelopment

103 N Congress Ave



Goal

- Demolition of entire site with existing Murphy USA convenience store and canopy
 - Current Convenience Store 500SF
 - Currently 6 pumps (12 fueling positions)
 - Removal of all pavement and curbing
- Construction of new convenience store and canopy, update to site features
 - New Convenience Store 1,400SF
 - New 8 stacked pumps (16 fueling positions)

Aerial



Existing Site



Existing Site



Existing Site



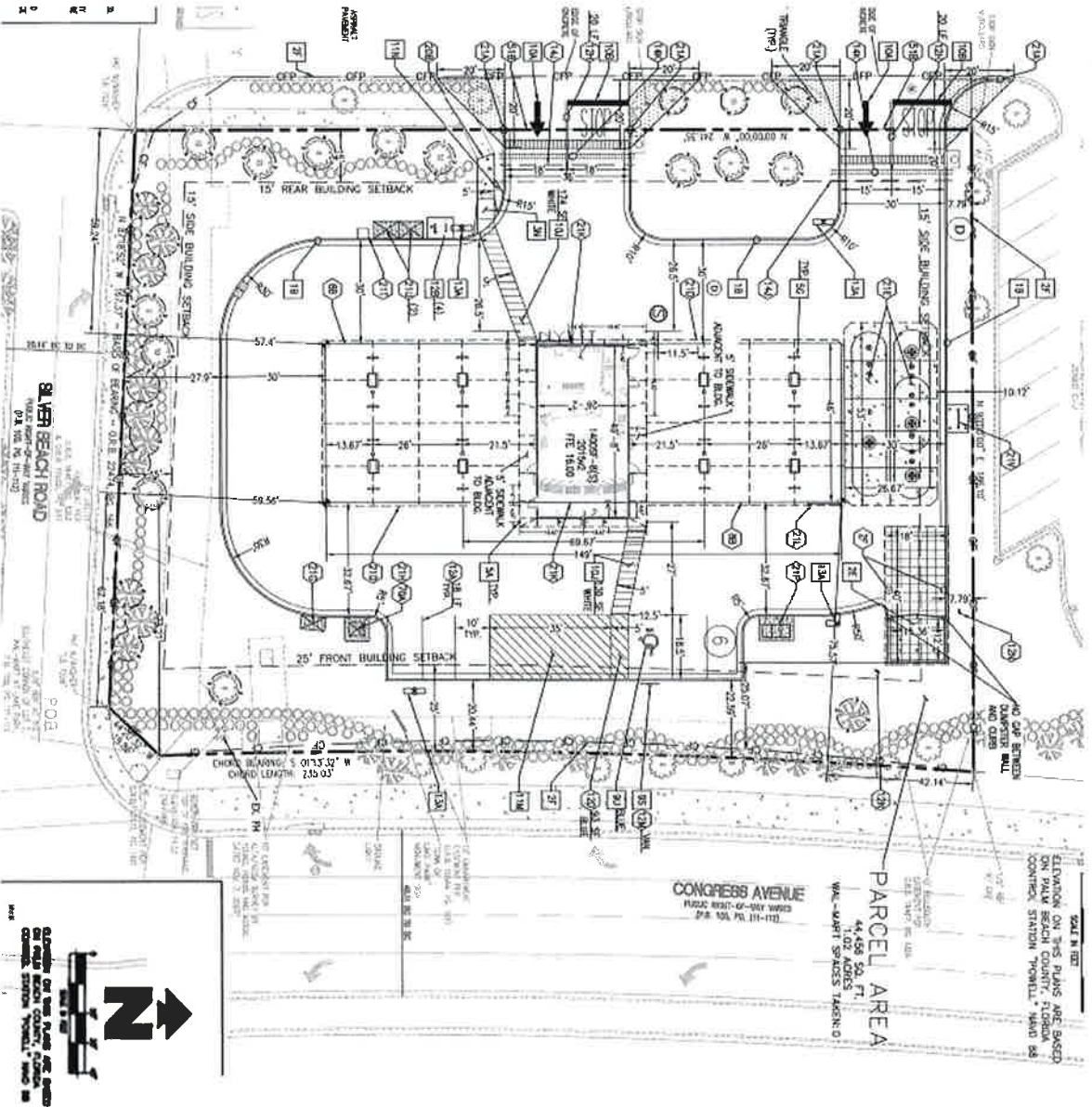
Existing Site



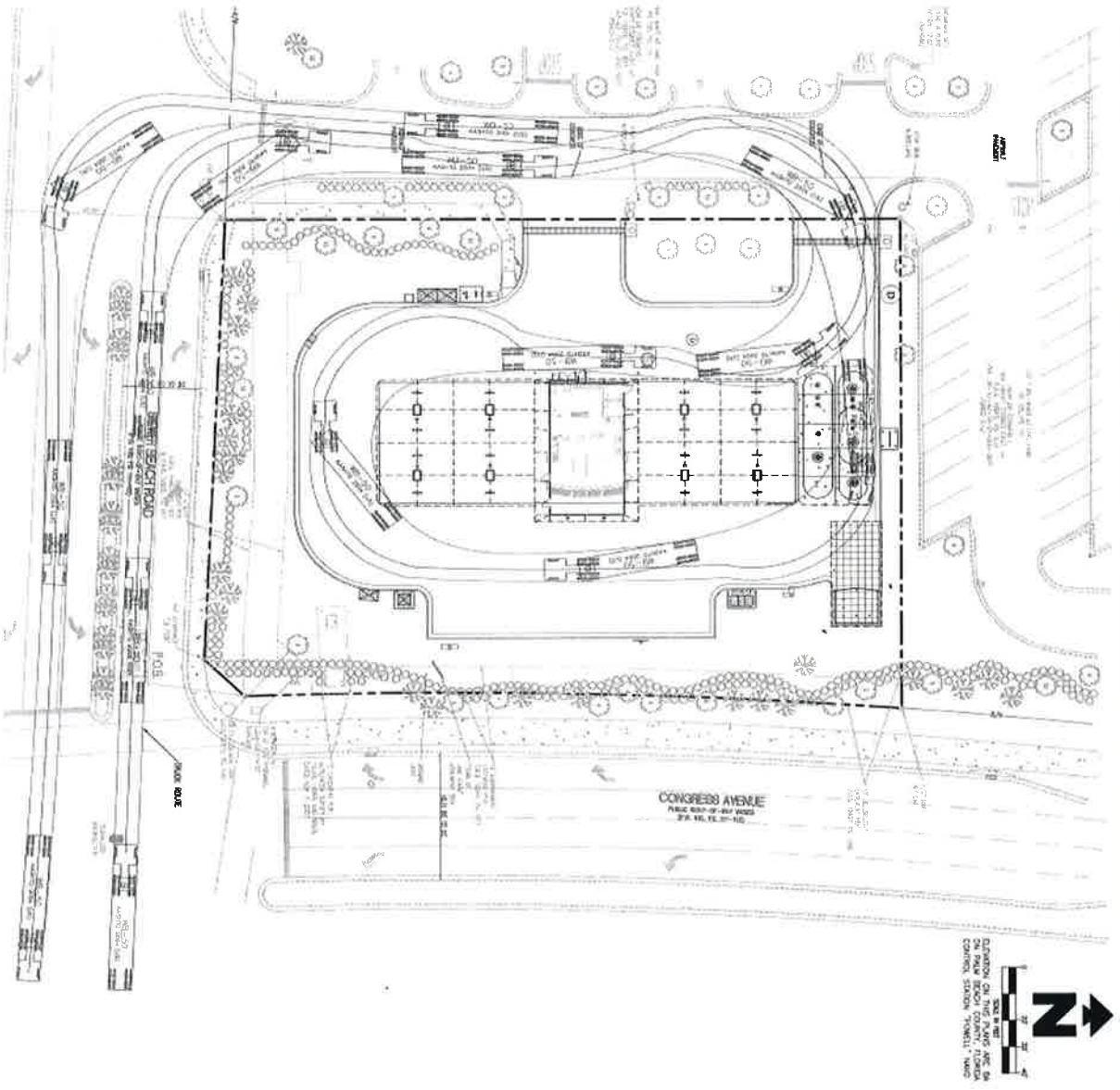
Existing Site



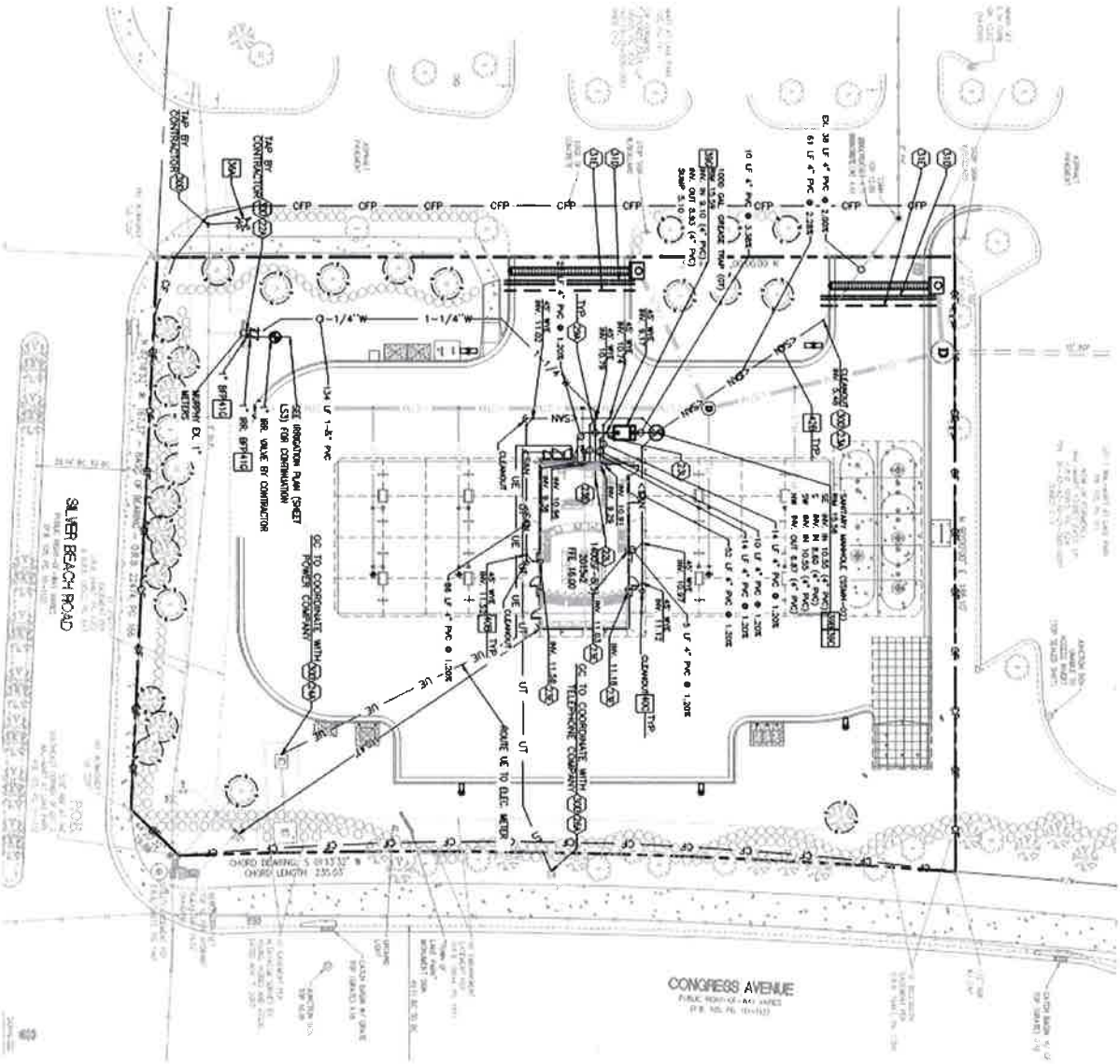
Proposed Site Plan



Proposed Truck Turning Route

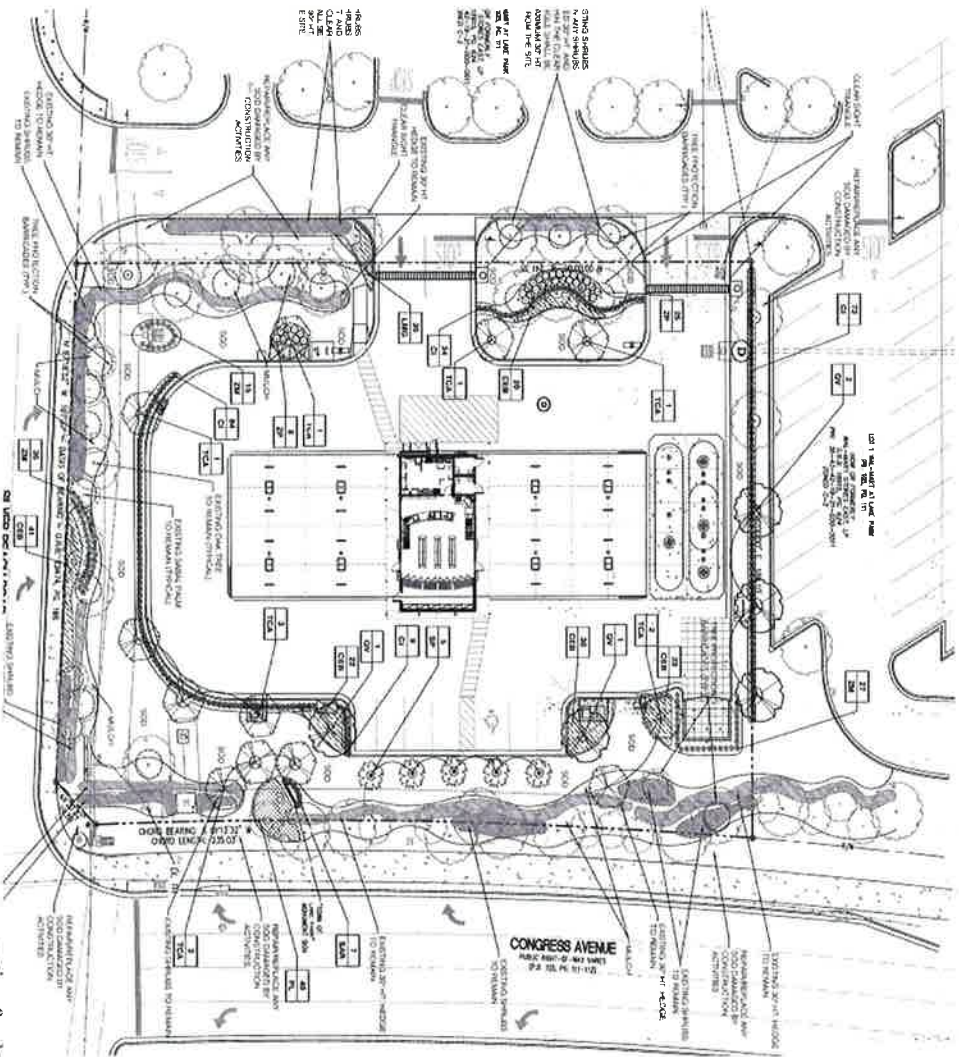


Proposed Utility Plan



EXAMINATION OF THIS PLAN AND RECORD DRAWING SHALL BE MADE BY THE ENGINEER AND ARCHITECT BEFORE CONSTRUCTION BEGINS. THE ENGINEER AND ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THEM BY THE CLIENT.

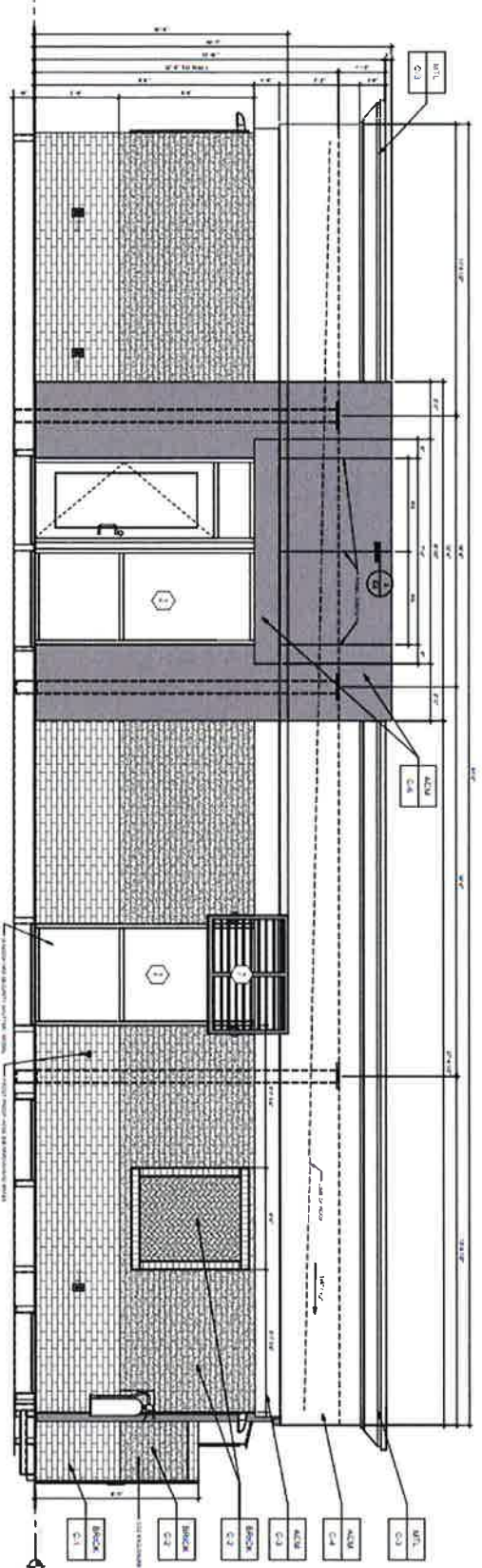
Proposed Landscaping Plan



PLANT MATERIAL SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	SPACING
CEB	13X	CASSIA VACCINARIA EMERALD BLAUET	DWARF CASSIA EMERALD BLAUET	MIN. 10-12" SPD	2' O.C.
CI	18T	CHRYSALANIS KCAO RED TIP	OCOPILAN "RED TIP"	MIN. 30" HT. FULL TO GROUND	2' O.C.
LANG	36	LIRIOPE AUSTRALIS EMERALD GOODNESS	GIANT LIRIOPE EMERALD GOODNESS	MIN. 10-12" SPD	18" O.C.
PL	40	PENTAS LANCOLA ATX	PENTAS	MIN. 10" HT. x 8" SPD	2' O.C.
QV	5	QUERUS VIRGINIANA	LIVE OAK	17" HT. x 3" SPD, 3" CAL.	45' SHOWN
SAR	7	SCHERFFERIA AEROPOLIA	DWARF SCHERFFERIA	MIN. 30" HT. FULL TO GROUND	2' O.C.
SP	5	SABAL PALMETTO	CABBAGE PALM	12' C.T. HT. (MATCHED)	AS SHOWN
TVA	12	THELIDIA CARABA (AUREA)	SAFFER TRUMPET/YELLOW FLOWER	12" HT. x 3" SPD, 3" CAL.	AS SHOWN
ZH	17	ZANIA MARTINA	CARROBOARD PALM	MIN. 30" HT. FULL TO GROUND	2' O.C.
ZP	34	ZANIA PLUMIA	COONTE	MIN. 18-24" SPD	25' O.C.

Proposed Elevations (Building)



1 RIGHT ELEVATION (NORTH)
1/2" = 1'-0"

KEYED NOTES:

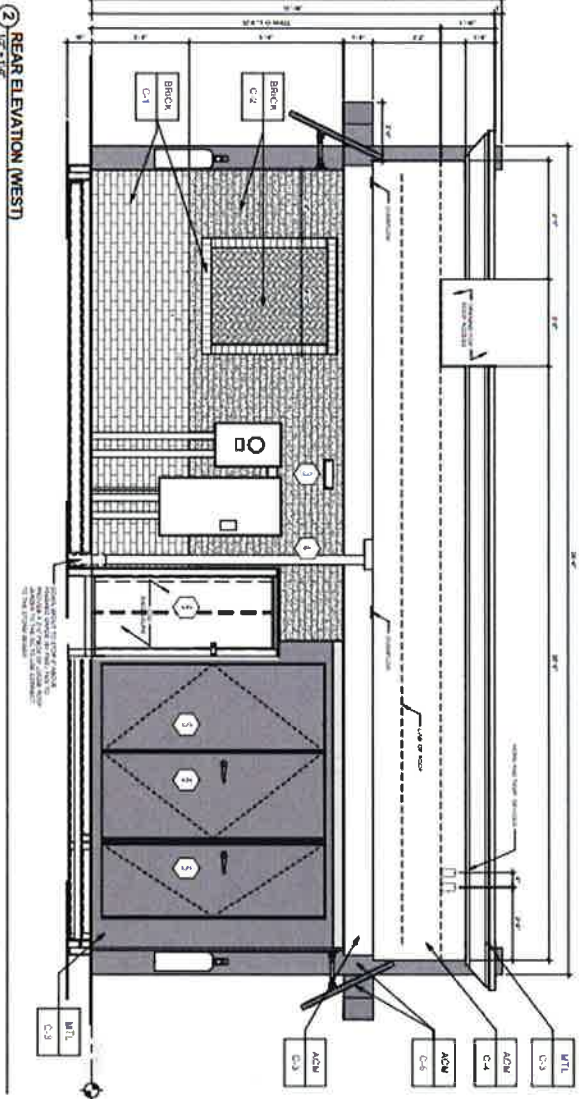
- 1 SOURCE OF MATERIALS BY ELEM. CONTRACTOR
- 2 CLEAN ANTI-STATIC ALUMINA STONE/GRANITE SYSTEM
KAWNEER FOR ONE ELEM.
- 3 EXTERIOR LIGHTING: BRICK TO LIGHTING FIXTURE SHEET 144
- 4 1" x 1" PAINTED METAL CORNER/ALUMINA STONE/GRANITE C-3
- 5 COORS EXTERIOR SIGN AND DOOR FINISHES PAINTED C-3
- 6 LITHONIA METAL FINISHES/PAINTED METAL SHEET 144
- 7 METAL FINISHES BY B&B FINISHING INC. SEE ELEM. C-6

EXTERIOR FINISHES:

- ACM ALUMINA FINISHES BY B&B FINISHING INC.
- BRICK FINISHES BY B&B FINISHING INC.
- MTL 20 GA. SHEET METAL, GALVALUME NORTH OR FINISHES BY B&B FINISHING INC.

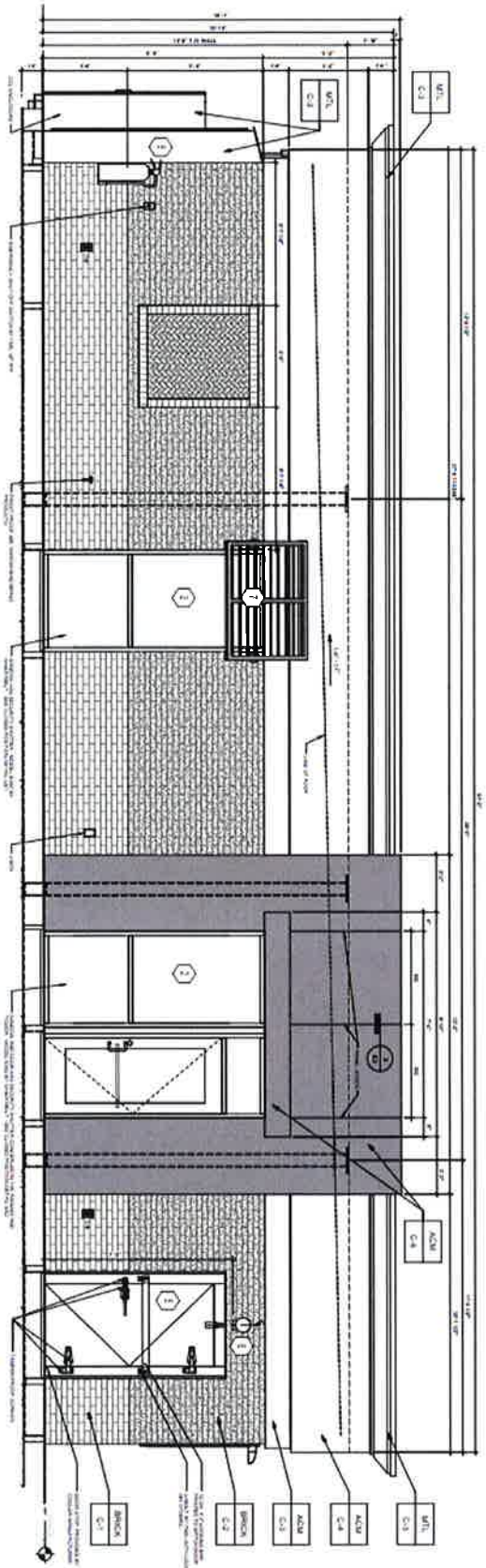
EXTERIOR PAINT/COLORS:

- C-1 TRIMWORK, UNPAINTED LIGHT ANODIZED ALUMINUM FINISHES BY B&B FINISHING INC.
- C-2 TRIMWORK, UNPAINTED LIGHT ANODIZED ALUMINUM FINISHES BY B&B FINISHING INC.
- C-3 BRICK FINISHES BY B&B FINISHING INC.
- C-4 BRICK FINISHES BY B&B FINISHING INC.
- C-5 BRICK FINISHES BY B&B FINISHING INC.
- C-6 BRICK FINISHES BY B&B FINISHING INC.
- C-7 BRICK FINISHES BY B&B FINISHING INC.



2 REAR ELEVATION (WEST)
1/2" = 1'-0"

Proposed Elevations (Building)



1 LEFT ELEVATION (SOUTH)

KEYED NOTES:

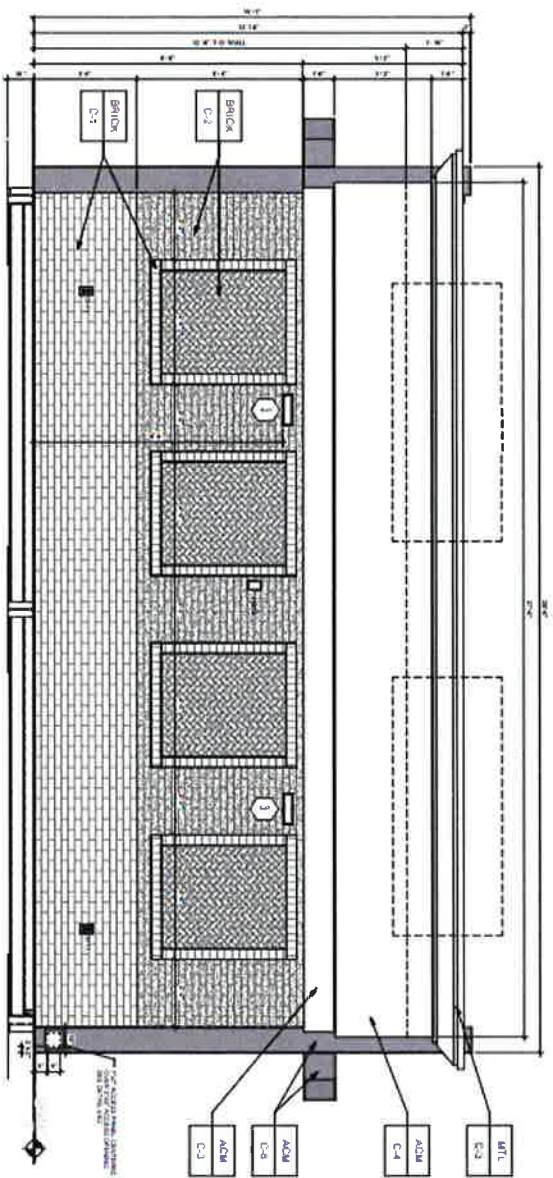
1. Material or resource: _____ w/ S&A CONNECTION
2. Initial material, quantity and location in situ: _____ C-7
3. Material location, finish, quantity, etc.: _____ C-2
4. Material location, finish, quantity, etc.: _____ C-3
5. Color, texture, etc.: _____ C-4
6. Material location, finish, quantity, etc.: _____ C-5
7. Material location, finish, quantity, etc.: _____ C-6

EXTERIOR FINISHES:

- ACM: _____ w/ S&A CONNECTION
- BRICK: _____ w/ S&A CONNECTION
- MTL: _____ w/ S&A CONNECTION

EXTERIOR PAINTCOLORS:

- C-1: _____ w/ S&A CONNECTION
- C-2: _____ w/ S&A CONNECTION
- C-3: _____ w/ S&A CONNECTION
- C-4: _____ w/ S&A CONNECTION
- C-5: _____ w/ S&A CONNECTION
- C-6: _____ w/ S&A CONNECTION
- C-7: _____ w/ S&A CONNECTION



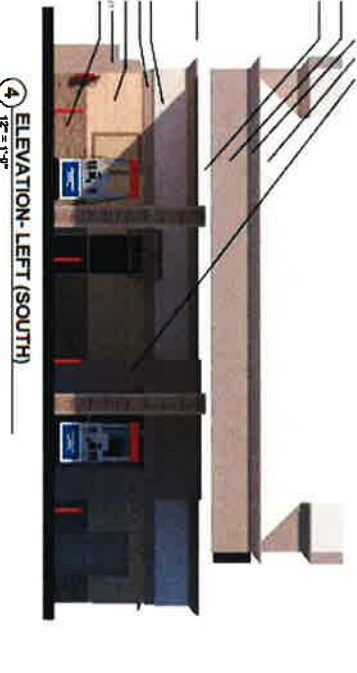
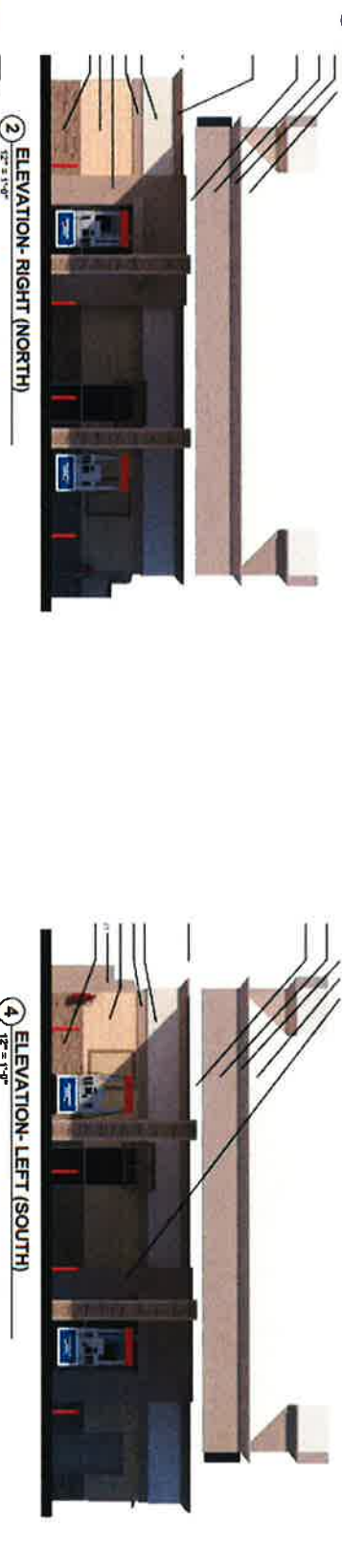
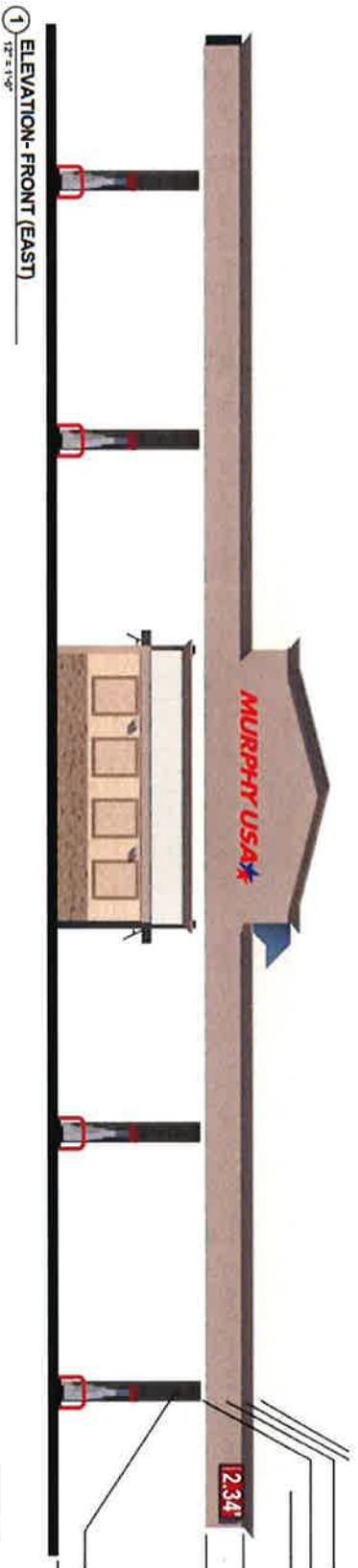
2 FRONT ELEVATION (EAST)



Proposed Colored Elevations



Proposed Colored Elevations



Proposed Colored Elevations (Building Only)



6 ELEVATION - BLDG ONLY RIGHT (NORTH)
1/2" = 1'-0"



7 ELEVATION - BLDG ONLY LEFT (SOUTH)
1/2" = 1'-0"



Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019
Immediately following a joint meeting at 6:00pm
Agenda Item: PZ19-002

**SPECIAL EXCEPTION APPLICATION FILED BY SOUTH FLORIDA YACHTS FOR
 THE SPECIAL EXCEPTION USE OF BOAT SALES AT A SITE LOCATED
 IN THE C-1 BUSINESS DISTRICT**

BACKGROUND INFORMATION:

Applicant: South Florida Yachts
Owner: Prime Plaza Inc.
Site: 1301 10th Street
Net Acreage: .94 acre (41,250 sq. ft.)
Legal Description: KELSEY CITY LOTS 19 TO 30 INC BLK 79 *(see survey for full legal description)*

Current Zoning: C-1 Business District

**Future Land Use Map (FLUM)
 land use category:** Commercial

Adjacent Zoning Designation

North: R-3 Multiple Family District/C-1 Business District
South: C-1 Business District
East: C-1 Business District
West: C-2 Business District

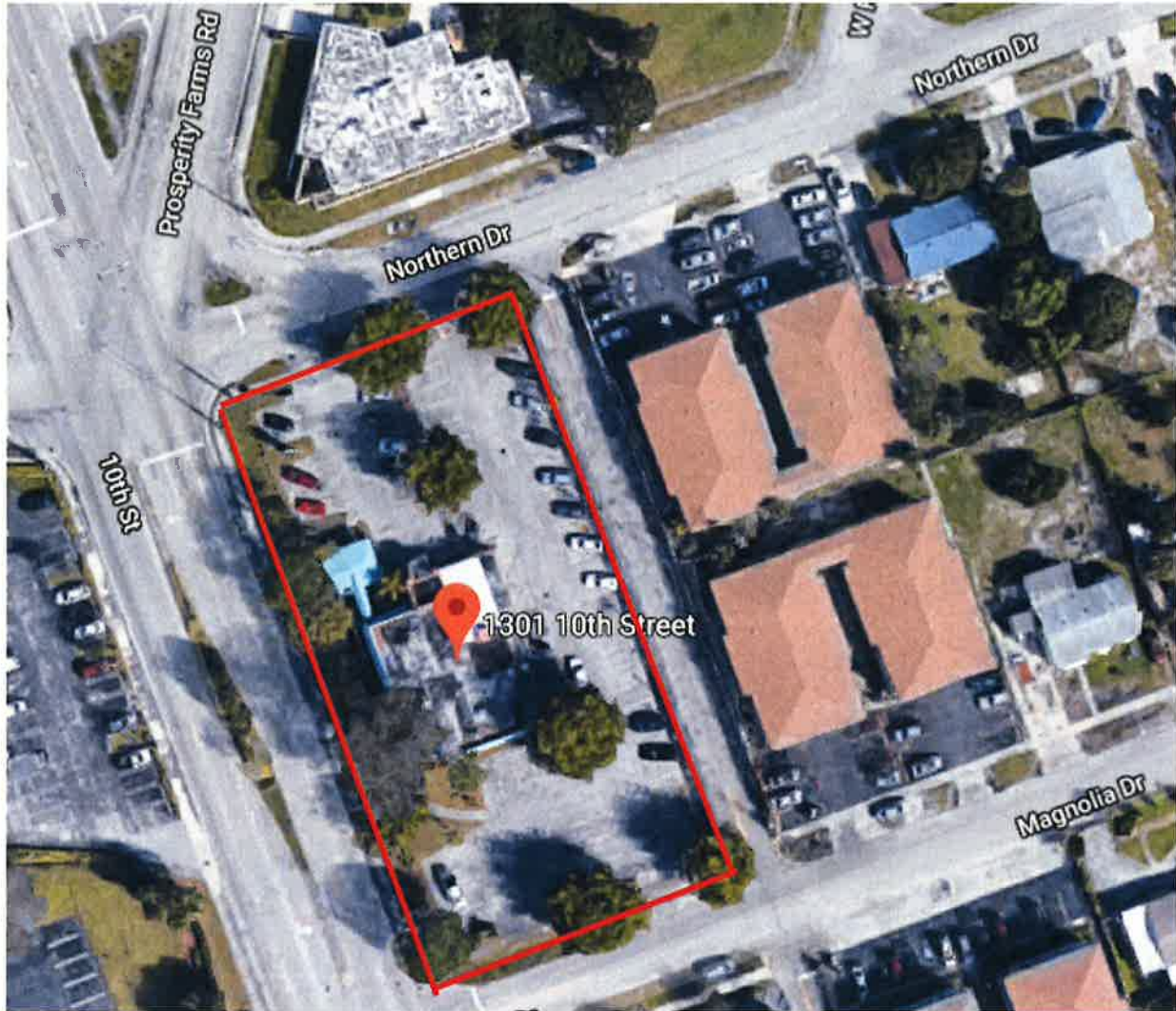
Adjacent Land Use Designation

North: Commercial
South: Commercial
East: Commercial (non-conforming apartments)
West: Commercial



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019**
Immediately following a joint meeting at 6:00pm

FIGURE 1: Aerial View





**Town of Lake Park
 Special Call Meeting
 Planning and Zoning Board
 Meeting Date: March 5, 2019
 Immediately following a joint meeting at 6:00pm**

FIGURE 2: Town Zoning Map



Lake Park Zoning Map



Legend

TOWN BOUNDARY	C1 BUSINESS DISTRICT	CLC CAMPUS LIGHT INDUSTRIAL & COMMERCIAL	R1A SINGLE FAMILY RESIDENCE DISTRICT	R2A MULTIPLE FAMILY RESIDENCE DISTRICT
Future Use Development Overlay	C2 BUSINESS DISTRICT	CONSERVATION	R1A SINGLE FAMILY RESIDENCE DISTRICT	R3 MULTIPLE FAMILY RESIDENCE DISTRICT
NEOS Overlay	C3 BUSINESS DISTRICT	MIXED USE	R1AA RESIDENCE DISTRICT	TRD TRADITIONAL NEIGHBORHOOD DEVELOPMENT
CRA Overlay	C4 BUSINESS DISTRICT	P PUBLIC DISTRICT	R1B TWO FAMILY RESIDENCE DISTRICT	
SRM1000 Federal Highway Main Use District Overlay	C4 BUSINESS DISTRICT	PADD PARK AVENUE DOWNTOWN DISTRICT	R2 MULTIPLE FAMILY RESIDENCE DISTRICT	

Location of site



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019**
Immediately following a joint meeting at 6:00pm

FIGURE 3: Town Future Land Use Map (FLUM)



Lake Park Future Land Use Map



Legend

TOWN BOUNDARY	COMMERCIAL	COMMERCIAL AND LIGHT INDUSTRIAL	PUBLIC BUILDINGS & GROUNDS	RESIDENTIAL LOW DENSITY
DOWNSTREAM	CONSERVATION	MIXED RESIDENTIAL AND COMMERCIAL	RECREATION OVERLAY	RESIDENTIAL MEDIUM DENSITY
ANNEXMENT	FEDERAL HIGHWAY	OTHER PUBLIC FACILITIES	SINGLE-FAMILY RESIDENTIAL	RESIDENTIAL HIGH DENSITY
Other	DUBS DISTRICT			

Location of site



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019**
Immediately following a joint meeting at 6:00pm

SUMMARY OF REQUEST:

South Florida Yachts (Applicant) has been located at 211 Federal Hwy, located near the Lake Park Marina, for several years. Their current location is in our prime mixed-use redevelopment area. Consequently, they have recently sold their property to the developer who will be proposing the Town's first mixed-use project under the new Federal Highway Mixed Use District Overlay (FHMUDO) zoning. Therefore, since South Florida Yachts would like to remain in operation in Lake Park, they have been searching for a new home and have selected 1301 10th Street (Subject Property), currently occupied by DEEZ Trucks who took over After-Lease Auto Sales. A previous special exception approval was granted for motor vehicle sales at the Subject Property. South Florida Yachts proposes to use the site for the display and sale of boats/yachts. There will be no mechanical work on site. The existing (approximate) 4,525 square foot building will be used as a sales office. The existing covered structure is proposed to remain, but will not be utilized for display or maintenance. The survey with site details enclosed with the Applicant's application packet, indicates the yachts will be displayed along the eastern boundary, along with a limited number at the property's southwest corner. Parking for customers and employees are located separately and only those areas that the Applicant believes will be utilized based on their operation are highlighted (17 spaces total). Two ADA spaces are also identified and required. The property has an additional 12 unaccounted parking spaces available (for a total of $17 + 12 = 29$ spaces) which exceeds the requirement (4,524 square feet at 1 space for each 500 square feet of enclosed gross floor area (=9), plus one space per each 4,500 square feet of outdoor sales display (=2), plus 1 space for each employee at maximum shift (=5) is a TOTAL of 16 required spaces for customers and employees combined). Access by customers will be from 10th Street, via Northern Drive using the existing access points. The second existing entrance on Magnolia Drive is proposed to be closed to customers and is anticipated to be gated for security. **Staff is recommending a Condition of Approval that requires a loading/unloading area to be designated onsite and that the gated entry from Magnolia Drive is utilized for entering/exiting the Subject Property for loading purposes. In addition, Staff is also recommending a Condition of Approval that prohibits the use of chain-link fencing and that only decorative perimeter fencing materials are utilized (all existing chain-link will need to be replaced). Finally, another Condition of Approval requiring high-definition security cameras that provide facial recognition to be permitted, installed and inspected prior to the issuance of a Business Tax Receipt, is also being proposed.**

The Applicant is not proposing any major changes to the site, other than to bring the landscaping up to code and install a section of missing fence along 10th Street for security. The site is already paved, striped, and predominantly fenced. **A Condition of Approval that requires all perimeter landscaping, which includes hedges and trees, to be installed where feasible, along with overall landscaping maintenance to be completed, prior to the issuance of a Business Tax Receipt, is also being proposed. This includes all associated and required irrigation.**



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019
Immediately following a joint meeting at 6:00pm**

In the C-1 Business District, boat sales fall within the special exception category as described below:

“f. Vehicle sales and rentals (emphasis added for clarification: vehicles, boats or wave runners), including accessory sales of parts and components and accessory repair shops on property on which a permanent building is erected and which building is used solely in connection with the use provided that:

- 1. No vehicles, boats or wave runners are tested or repaired outside of a building designed for such purposes; and***
- 2. The parking requirements for the use are met over and above any areas provided for vehicles, boats or wave-runners, which are part of the specific business.***
- 3. Motor vehicle sales on property on which a permanent building is erected, shall mean the area where buildings are used in connection with the sale or lease of motor vehicles and the areas where motor vehicles are displayed for lease or sale.”***

The site upon which the special exception use is proposed was originally developed as a restaurant. It has been recently been utilized for auto and truck sales, and in fact has become somewhat run down in appearance. The special exception request affords the Town the opportunity to bring to this location an established, viable business and upgrade the site's appearance.



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019**
Immediately following a joint meeting at 6:00pm

FIGURE 4: Panoramic views of site





Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019
Immediately following a joint meeting at 6:00pm

ANALYSIS OF SPECIAL EXCEPTION CRITERIA

The six criteria required for the granting of a Special Exception and staff comments to each are as follows:

Criteria 1

The proposed special exception use is consistent with the goals, objectives, and policies of the Town's Comprehensive Plan.

Applicable Goals and Objectives:

Chapter 3 Future Land Use, Objective 1, Policy 1.1:	j. Encourage redevelopment, renewal or renovation, that maintains or improves existing neighborhoods and commercial areas; l. Facilitates the achievement of economic development, historic preservation, resource preservation, and other key goals.
Chapter 3 Future Land Use, Objective 5:	As a substantially built-out community in an urbanized area, the Town shall promote redevelopment and infill development in a manner that is considerate to existing neighborhoods and uses, the built and natural environments, and neighboring jurisdictions.

STAFF COMMENTS

The proposed special exception use is consistent with the Comprehensive Plan as it will facilitate economic development and provide for site improvements to an existing developed site. The proposed use is compatible with the surrounding businesses of an auto supply store, gas station, and small shopping center. Further, the proposed use has the potential to encourage the location of nearby yacht-related uses, and to act as a catalyst for redevelopment.

FINDING: CRITERIA MET



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019
Immediately following a joint meeting at 6:00pm**

Criteria 2:

The proposed special exception is consistent with the land development and zoning regulations and all other portions of this code.

Staff Comments

<p>Parking:</p>	<p>Per Section 78-145 (g) (3) of the Town Code the following is required: 1 space/500 sq. of enclosed building area, 1 space/4500 sq. ft. display area, and 1 space/employee for largest shift. This equates to 9+2+5 or 16 spaces, inclusive of (2) ADA space requirements.</p> <p>The plan shows a total of 17 spaces, 11 for customers and 6 in the employee parking area, which meets the code. (There is room to stripe 3 additional spaces in the customer area). The property has an additional 12 unaccounted parking spaces available (for a total of 17 + 12 = 29 spaces) which exceeds the requirement.</p>
<p>Display area:</p>	<p>Section 78-145 (g) (2) of the Town Code states that no motor vehicle (for display, sale, rent, or storage) may be parked for any purpose in the area located between the <u>base building line</u> and the paved edge of the public street.</p> <p><u>Base building lines</u> are defined by the individual zoning district setback regulations. The Subject Property is located in the C-1 zoning district which defines the front yard setback as: <i>“There should be a front yard of not less than 25 feet measured from the street or highway or highway right-of-way line to the front wall of the building or structure...”</i></p> <p>The Subject Property was built in 1973 and even though the address assigned is 1301 10th Street, it was built with a “front wall” facing Northern Drive.</p> <p>Consequently, as currently designed with a front wall facing Northern Drive, no display, sale, rent, or storage vehicles shall be parked within 25 feet of Northern Drive, 15 feet from 10th Street, or 15 feet from Magnolia Drive. Notations have been included on the survey with site details.</p>
<p>Landscaping:</p>	<p>The landscaping onsite has deteriorated over time and has had to be addressed several times. The deterioration is particularly noticeable along 10th Street. Portions of the required landscaping for vehicle use areas are missing. As shown on the survey with site details, the Applicant intends to replant the hedges along 10th Street. Per the Town Code, hedges and trees are required along the perimeter of the site and foundation plantings along the building’s edge. While most of it is in existence, some of the plantings are missing. There are also areas that need re-sodding. A Condition of Approval that requires all perimeter landscaping, which includes hedges and trees, to be installed where feasible, along with overall landscaping maintenance to be completed, prior to the issuance of a Business Tax Receipt, is being proposed by Staff. This includes all associated and required irrigation.</p>



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019**

Immediately following a joint meeting at 6:00pm

Building Height, Size:	Compliant with the C-1 zoning district regulations codified in Town Code Section 78-71.
Signage:	An existing monument sign is located on the northwest corner of the Subject Property which South Florida Yachts intends to utilize. No additional signage is being proposed. Sign permit applications are required for all future signage.
Drainage	No changes proposed.
Setbacks:	The existing building meets the required setbacks set forth in Sec. 78-71(5).

Conditions of Approval Proposed by Staff:

- (1) Loading/unloading area to be designated onsite and that the gated entry from Magnolia Drive is utilized for entering/exiting the Subject Property for loading purposes.**
- (2) Prohibits the use of chain-link fencing and that only decorative perimeter fencing materials are utilized (all existing chain-link will need to be replaced).**
- (3) High-definition security cameras that provide facial recognition are required to be permitted, installed and inspected prior to the issuance of a Business Tax Receipt.**
- (4) All perimeter landscaping, which includes hedges and trees, are to be installed where feasible, and all landscaping maintenance must be completed, prior to the issuance of a Business Tax Receipt. This includes all associated and required irrigation.**

FINDING: CRITERIA MET with Conditions of Approval proposed by Staff.



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019**

Immediately following a joint meeting at 6:00pm

Criteria 3

The proposed special exception use is compatible with the character and use (existing and future) of the surrounding properties in its function; hours of operation; type and amount of traffic to be generated; building location, mass, height and setback; and other relevant factors peculiar to the proposed special exception use and the surrounding property.

Staff Comments

Function and Impact::	<p>The Site is located in the C-1 Business District, which provides for a wide variety of commercial uses including offices, appliance stores, grocers, personal service uses. The activities on the site are compatible with the character and uses of the surrounding commercial properties.</p> <p>While there is a significant outdoor boat display component, the noise level is expected to be low. Since there is not an anticipated high volume turnover, the noise or disruption of bringing yachts into the facility will be limited. Further, the C-1 district specifically prohibits the outside testing of “vehicles, boats or wave runners” which would make it a code violation (even though the Applicant is not proposing to do so). Therefore, the use is not anticipated to negatively impact the adjacent apartments to the east, or any of the surrounding uses. The same use has been in existence for many years along US-1, adjacent to residential, without any issues. The residential use is also separated by an alley.</p>
Hours of Operation:	<p>The business proposes to operate between the hours of 9:00am-6:00pm Monday through Friday, 9:00am-5:00pm on Saturday, and 11:00am to 3:00pm on Sunday. These hours and days of operation are consistent with the days and business hours of neighboring businesses in the district. The hours will not negatively impact the residential use to the east.</p>
Traffic:	<p>The Applicant’s traffic statement concludes that the change in use from vehicle to boat sales will result in a DECREASE in daily and peak hour trips. Palm Beach County has issued a Traffic Performance Standards approval letter. No changes to access are proposed.</p>
Location\Mass\ Setbacks:	<p>The existing building is compatible with the surrounding area and has been in existence since 1973.</p>
Future Land Use:	<p>The Site’s future land use is designated as <i>Commercial</i> which is defined by the Comprehensive Plan as” Lands and structures devoted primarily to the delivery, sale or otherwise transfer of goods or services on a retail basis, with a maximum F.A.R. of 2.0. This category also includes personal and professional services. Public schools are a permitted use within this land use designation”</p> <p>Boat/Yacht sales is consistent with the land use designation.</p>

The proposed special exception use is compatible and complimentary to the existing and future uses and character of the surrounding properties.

FINDING: CRITERIA MET



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019
Immediately following a joint meeting at 6:00pm**

Criteria 4

The establishment of the proposed special exception use in the identified location does not create a concentration or proliferation of the same or similar type of special exception use, which may be deemed detrimental to the development or redevelopment of the area in which the special exception use is proposed to be developed.

Staff Comments

There are currently no other boat or yacht sales in the area. Therefore, staff finds that the proposed special exception use will not create a concentration of uses which is detrimental to the development or redevelopment of this area of the Town.

FINDING: CRITERIA MET



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019**

Immediately following a joint meeting at 6:00pm

Criteria 5

The proposed special exception use does not have a detrimental impact on surrounding properties based on: (a) The number of persons anticipated to be using, residing, or working on the property as a result of the special exception use; (b) The degree of noise, odor, visual, or other potential nuisance factors generated by the special exception use; and, (c) The effect on the amount and flow of traffic within the vicinity of the proposed special exception use.

Staff Comments

- a. The Applicant indicates that there will be minimal staff on the site. Customers will be able to view boats that are displayed outside, and all business transactions will be conducted inside the building in the office. No one will be living onsite.
- b. Staff has reviewed the proposed use for impacts including noise, odor, and lighting. While a good portion of the Subject Property will be used for the outdoor display of boats, the **noise level** is expected to be low. Yacht sales do not have a high-volume turnover, thus noise or disruption caused by boat trailers, trucks, or loading/unloading boats will be limited. Further, the C-1 district specifically prohibits the outside testing of “vehicles, boats or wave runners”, which addresses any fumes, odor or excessive noise. Therefore, the use is not anticipated to negatively impact the adjacent apartments to the east, which are also separated by an alley. The Applicant has submitted a Site Lighting Plan that meets the requirements of Town Code Section 54-36 which requires at least 1 foot-candle at active entrances to the building and accessways to the building, or parking areas, and a minimum of 1/3 foot-candle throughout the parking areas. Per the Town Code: *Security illumination shall be protected by vandal-resistant globes and activated from dusk until dawn; and minimum-maintained lighting shall be provided from dusk until 30 minutes after the termination of business each operating day; and minimum-maintained lighting shall be provided from dusk until dawn.*
- c. As detailed in Criteria #4, the proposed special exception use will result in a *reduction* in traffic. The Applicant has indicated that the unloading of boats will occur within the site (a condition of approval is also being proposed). Therefore, the use will not have a detrimental impact on surrounding properties based on the amount and flow of traffic

The proposed special exception, if approved, is not anticipated to create a nuisance, nor have any detrimental impacts on surrounding properties.

FINDING: CRITERIA MET



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019
Immediately following a joint meeting at 6:00pm**

Criteria 6

That the proposed special exception use: (a) Does not significantly reduce light and air to adjacent properties, (b) Does not adversely affect property values in adjacent areas, (c) Would not be a deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations, (d) Does not negatively impact adjacent natural systems or public facilities, including parks and open spaces, (e) Provides pedestrian amenities, including, but not limited to, benches, trash receptacles, and/or bicycle parking.

Staff Comments

Staff findings for Criteria 6 are as follows:

- (a) The proposed special exception use **will not** reduce light or air to adjacent properties since the application does not propose any additions or exterior renovations that will alter building height and mass.
- (b) The proposed special exception use **will not** adversely affect property values in the surrounding areas.
- (c) The proposed special exception use **will not** be a deterrent to the improvement, development or redevelopment of surrounding properties. It may help to encourage new business location in the area.
- (d) The proposed special exception use **will not** have a negative impact on adjacent natural systems or public facilities as there are no adjacent natural areas or public facilities.
- (e) Since it is not anticipated that customers interested in purchasing boats/yachts will arrive on foot, or by bike, pedestrian amenities are not being proposed.

FINDING: CRITERIA MET



**Town of Lake Park
Special Call Meeting
Planning and Zoning Board
Meeting Date: March 5, 2019
Immediately following a joint meeting at 6:00pm**

A public notice was advertised in the Palm Beach Post on February 23, 2019 and certified letters to all property owners within 300 feet of the Subject Property were mailed on February 22, 2019

FINDINGS OF FACT AND STAFF RECOMMENDATION

Staff finds that this application for a special exception use meets each of the six criteria required for the granting of a special exception use. Staff recommends **APPROVAL** with the following conditions (*may be rephrased as needed in the final Resolution presented to the Town Commission*):

1. The Owner is required to adhere to the Survey with Site Details identified as Plan Sheet SSD-1.
2. Loading/unloading area to be designated onsite and identified on Plan Sheet SSD-1 and that the gated entry from Magnolia Drive is utilized for entering/exiting the Subject Property for loading purposes.
3. Chain-link fencing is prohibited anywhere on the Subject Property. Only decorative fencing materials are permitted. All existing chain-link fencing must be removed and replaced, if desired by the Owner, prior to the issuance of a Business Tax Receipt.
4. High-definition security cameras that provide clear facial recognition must be permitted, installed and inspected prior to the issuance of a Business Tax Receipt.
5. All perimeter landscaping, which includes hedges and trees, must be installed where feasible, and all landscaping maintenance must be completed, prior to the issuance of a Business Tax Receipt. This includes all associated and required irrigation.
6. Security illumination shall be protected by vandal-resistant globes and activated from dusk until dawn; and minimum-maintained lighting shall be provided from dusk until 30 minutes after the termination of business each operating day; and minimum-maintained lighting shall be provided from dusk until dawn.



TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT

APPLICATION FOR SPECIAL EXCEPTION REVIEW

Applicant/Agent: SOUTH FLORIDA YACHTS
Address: 211 US HIGHWAY 1 LAKE PARK, FL 33403
Telephone: 561-844-4109 Fax: 561-844-7162
E-mail: WAYNE@SOUTHFLORIDAYACHTS.COM

- Owner
 Agent (Attach Agent Authorization Form)

Owner's Name
(if not Applicant): Prime Plaza Inc
Address: 1301 10th Street, Lake Park FL 33403
Telephone: 561-704-0339 Fax: 561-810
E-Mail: CRFRANCOIS@AOL.COM

Property Location: 1301 10th Street Lake Park FL 33403
Legal Description: Kilsey city lots 19 to 30 plus
Property Control Number: 36-43-42-20 01-079-0190

Future Land Use: Commercial Zoning: C-1
Acreage: 0.9 Square Footage of Use: 4500
Proposed Use: Boat sales / Accessory sales

Zoning/Existing Use of Adjacent Properties:

North: C-1 + R-3

South: C-1

East: R-2

West: C-2

APPLICATION REQUIREMENTS:

- 1. Please discuss how the Special Exception use is consistent with goals, objectives, and policies of the Town's Comprehensive Plan.***

One of our goals is to generate public interest to visit our property for new boat purchase which will provide several benefits to the Town of Lake Park. First, it generates income for the business while adding to the tax base, including sales tax, of our town. Second, it generates interest in Lake Park, with an influx of people coming to our location. Third, people will be around and exposed to other local business locations in the Lake Park area. For example, Bennett Auto Supply and AAMCO Transmissions are next door, along with a gas station just to our north, providing additional business opportunities for these neighboring businesses.

- 2. Please discuss how the proposed Special Exception is consistent with the land development and zoning regulations and all other portions of the Town of Lake Park Code of Ordinances.***

Our location and business model in no way will affect or detour away from any already existing landscape or integrity of the building. The landscape will remain current and up to code. There will be no removal or destruction of the current landscape. There will be no removal of current parking spaces. All handicap spaces will remain, along with ample parking for all vehicles that enter the property. All of the outside structure and appearance will remain within all of the Town Codes. There will be a perimeter fencing of the property to insure that the property is well protected and secure at all times. The interior structure and integrity of the building will remain. There will be no construction or removal of walls or anything to destroy the inside of the building.

- 3. Please explain how the proposed Special Exception use is compatible with the character and use (existing and future) of the surrounding properties in its function; hours of operation; type and amount of traffic to be generated; building locations; mass; and setback; and other relevant factors peculiar to the Special Exception use and surrounding property.***

The compatibility of the business with surrounding properties is very favorable to the growth of local business. The auto parts store right next door has potential for tremendous growth. The fuel station just to the north would be a primary location for us to use for our fueling needs, as most of our boats will require the need for fuel. Our hours of operation will coincide with all other local businesses in the area. Hours of operation will be 9:00am to 6:00pm Monday through Friday, 9:00am to 5:00pm on Saturday, and 11:00am to 3:00pm on Sunday. The type and amount of traffic generated will be favorable for all in the area. With the amount and type of traffic generated, it will also have an effect on the so-called "negative" activity in the area. The increased consumer activity will cause this undesirable activity to decrease favoring all area businesses. The building is set far back enough that any potentially dangerous situations will remain out of the existing roadway. It is clear that the business will provide potential profit for and benefit all surrounding businesses. Our business is a great addition to the town's public marina and adds to the town's boating lifestyle.

- 4. Please explain how the establishment of the proposed Special Exception use in the identified location does not create a concentration or proliferation of the same or similar type of Special Exception use, which may be deemed detrimental to the development or redevelopment of the area in which the Special Exception use is proposed to be developed.**

There will be no concentration or proliferation of the same type of Special Exception use because there are no boat dealers within this area. This will be in no way detrimental to the development or redevelopment of the area. In fact just the opposite, this business will enhance the area and will be favorable to the surrounding businesses and land owners for future development. It will also have the ability to entice future business owners to consider the Town of Lake Park as their home to build and grow future business.

- 5. Please explain how the Special Exception use does not have the detrimental impact on surrounding properties based on; (a) The number of persons anticipated to be using, residing, or working on the property as a result of the Special Exception use; (b) The degree of noise, odor, visual, or other potential nuisance factors generated by the Special Exception use; (c) The effect on the amount of flow traffic within the vicinity of the proposed Special Exception use.**

There will be no detrimental impact to the area based on persons using the property because there will be minimum staff as well as no visible (other than walking around) activities within the sight of surrounding properties. There will absolutely be no person(s) residing at the property. There will be no variance in the degree of noise, as all business transactions will be taking place within the confines of the building and will not be subject to the outside. Since all transactions will be done inside, the visual effect will be nonexistent and never a detriment or disturbance to existing business or residential property owners. There will be no unpleasant or disturbing odors ever coming from the property since we will not be dealing with, or handling any chemicals or anything of that nature. The flow of traffic will create a positive benefit for all. Since the property will be gated and fenced all around, there will be no "overflow" spilling out onto the streets. This will also ensure the safety and security for all who enter the property. The additional traffic equates to additional people which creates potential growth for all surrounding businesses.

- 6. Please explain how the proposed Special Exception use meets the following requirements; (a) does not significantly reduce light and air adjacent properties; (b) does not adversely affect property values in adjacent areas; (c) would not determent to the improvement, development or redevelopment of surrounding properties in the accord with existing regulations; (d) does not negatively impact adjacent natural systems or public facilities, including parks and open spaces; and (e) provides pedestrian amenities, including, but not limited to, benches, trash receptacles, and or bicycle parking.**

There would not be a reduction in light, but an actual enhancement in light. There will be additional lighting installed to enhance the property and operating hours are within normal business hours of the day. There will be no interference or contradiction to adjacent business owners or residential property owners in regard to lighting. This will be a positive for surrounding business and property owners. As far as air adjacent properties, all existing properties on the property will remain unchanged. Property values will now have the chance to increase in the area because there will be another successful business that will lure and entice potential business owners increasing the potential for property values to go up at a greater speed than unused or vacant properties. With the existence of a successful business in the area, future development will become more attractive and promising to new business owners. Since the property and business will be totally fenced in and secured, there will be no negative impact on any natural systems or any public facility. All pedestrian amenities will remain unchanged and kept up to existing codes. All handicap amenities will remain unchanged and kept up to all existing codes.

Please provide the following:

1. Fees:
 1. Special Exception Fees:

Structure Size:
0 - 14,999 sq. ft. = \$1,500.00
+ 15,000 sq. ft. = \$3,000.00
 2. Minimum Initial Escrow Fee: \$1,500.00
- Advertising costs:

The petitioner shall pay all costs of publication of Public Hearing required in a newspaper of general circulation within the Town. This cost will be deducted from the escrow.
2. Property Owners List: A complete list of property owners and mailing addresses of all property owners within 300 feet of the subject parcel as recorded in the latest official Palm Beach County Tax Roll. Certified Mail will be sent to all owners within 300 feet; postage will be deducted from escrow.
3. Location Map
4. Site Plan: A site plan drawn to scale indicating:
 1. size of the buildings;
 2. intended floor area ratios;
 3. quantity of parking spaces; 60+ -
 4. intended access road(s); 10+ -
 5. the general type of construction in accordance with the Florida Building Code and the Codes of the Town of Lake Park; and,
 6. availability and approximate location of utilities.
5. Site Survey: A certified boundary survey by a surveyor registered in the State of Florida containing an accurate legal description of the property and a computation of the total acreage of the parcel.
6. Applicants statement: On the Applicants letterhead please provide a statement of interest in the property.
7. Warranty Deed: A Warranty Deed with an affidavit from the Applicant stating that the Deed represents the current ownership.
8. Traffic Analysis: A Traffic Impact Analysis, if required by the Town Engineer or Staff.

**UPON THE APPROVAL OF ALL GOVERNING AGENCIES,
PLEASE SUBMIT SIX (6) COMPLETE SETS OF THE
REQUIRED DOCUMENTS FOR FINAL REVIEW**

PLEASE DO NOT DETACH FROM APPLICATION.



SIGNATURE REQUIRED BELOW.

Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

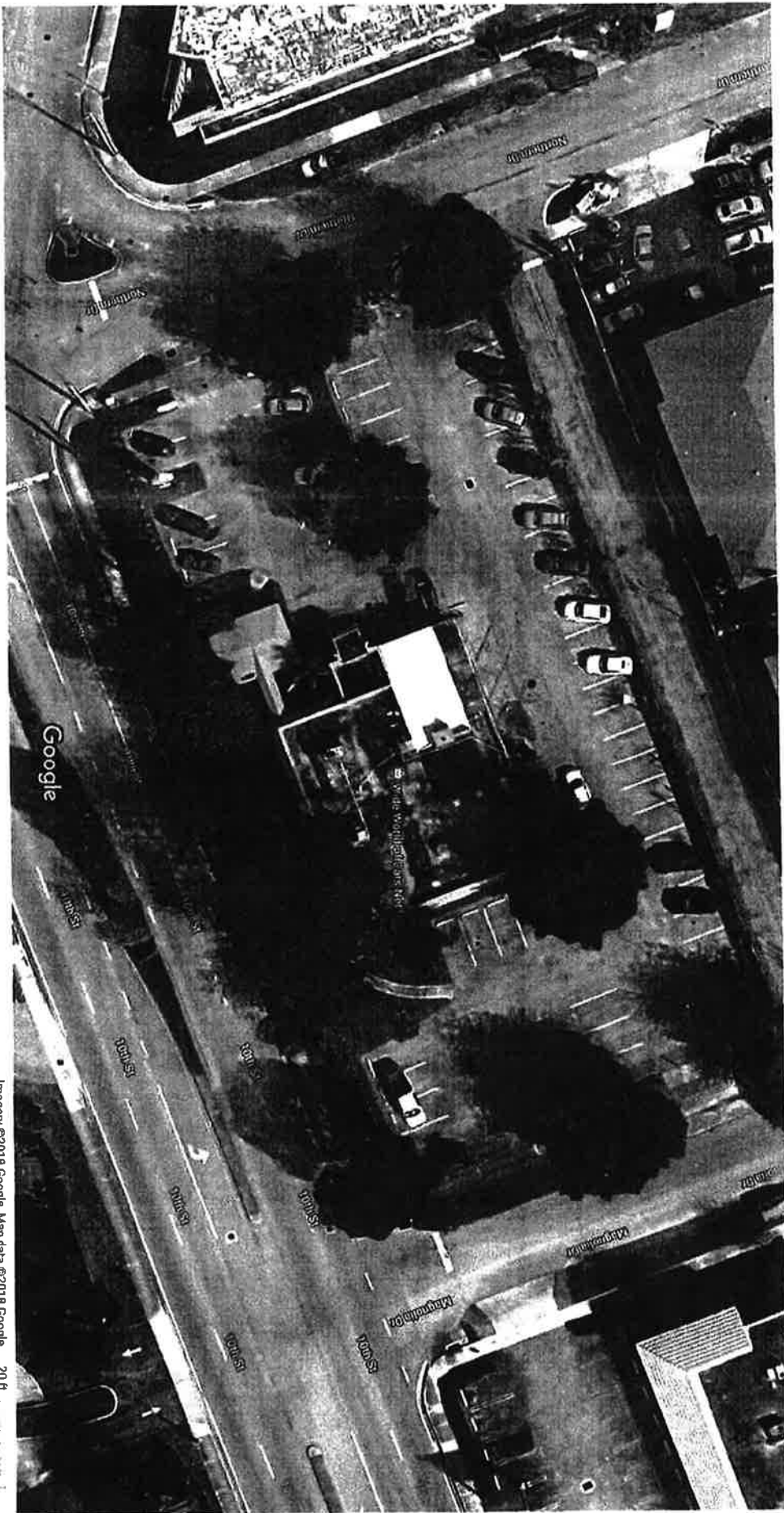
For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Christiane Lawson, have read and understand the regulations above regarding cost recovery.

Christiane Lawson
Property Owner Signature

11-10-18
Date

Google Maps

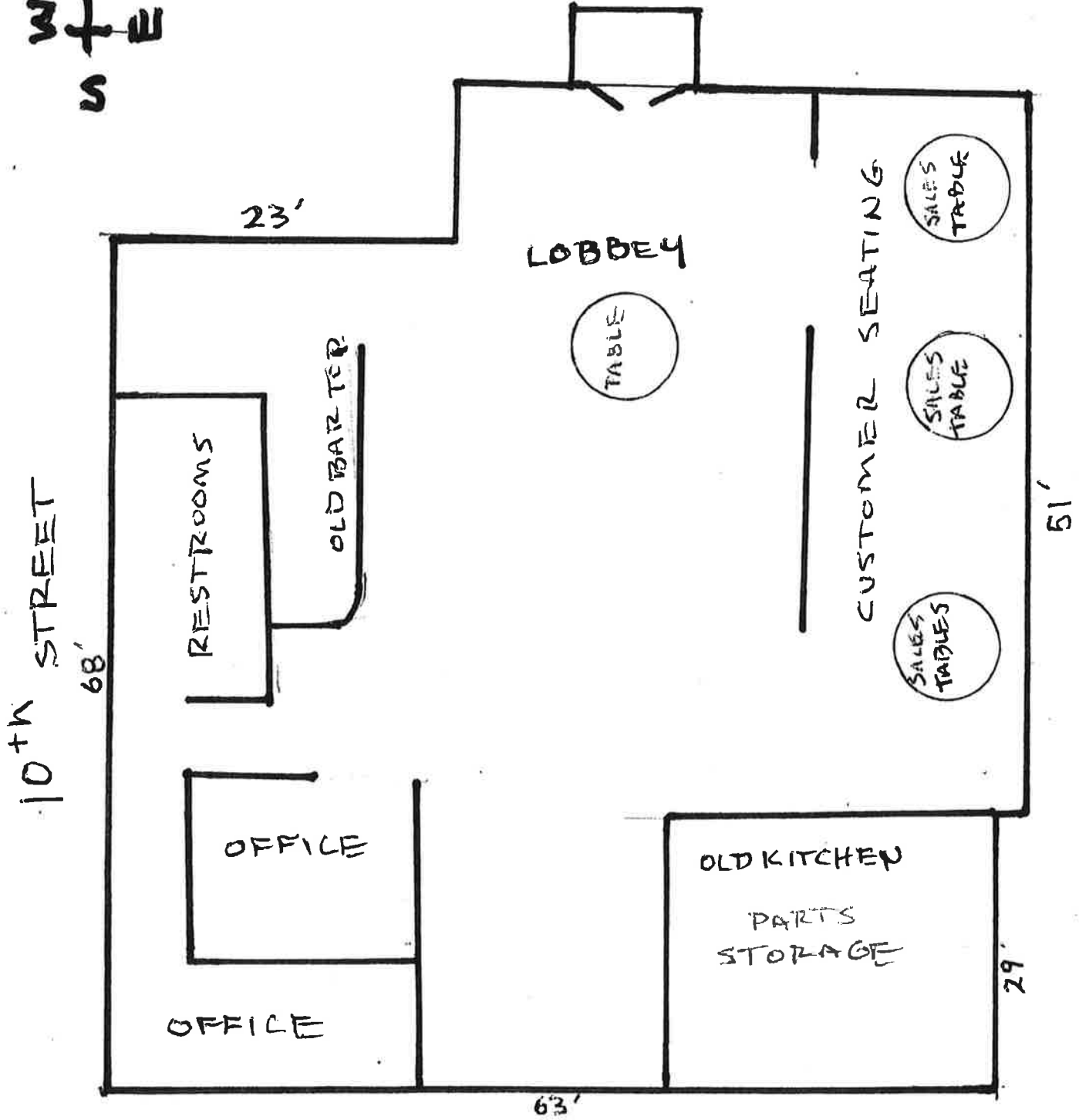


Imagery ©2018 Google, Map data ©2018 Google 20 ft

NORTHERN DRIVE



FRONT
ENTRANCE



APPROX. 4500 SF.

1301 10th STREET.

SIMMONS & WHITE
2581 Metrocentre Blvd West, Suite 3, West Palm Beach, Florida 33407
O 561.478.7848 | F 561.478.3738 www.simmonsandwhite.com
Certificate of Authorization Number 3452



TRAFFIC EQUIVALENCY STATEMENT

**SOUTH FLORIDA YACHT SALES
TOWN OF LAKE PARK, FLORIDA**

Prepared for:

South Florida Yacht Sales
211 US Highway One
Lake Park, Florida 33403

Job No. 19-018

Date: January 29, 2019

Robert F. Rennebaum, P.E.
FL Reg. No. 41168

TABLE OF CONTENTS

1.0 SITE DATA	2
2.0 TRAFFIC GENERATION	2
3.0 CONCLUSION	3

1.0 SITE DATA

The subject parcel is located on the east side of 10th Street, south of Northern Drive in Palm Beach County and contains approximately 0.95 acres. The Property Control Number (PCN) for the subject parcel is 36-43-42-20-01-079-0190. The existing site consists of a 4500 SF auto sales facility that was approved in 2013 and is currently in operation. Prior to the auto sales use, the building was used as a high turnover, sit-down restaurant. The previous equivalency letter prepared by MTP Group dated September 4, 2013 is attached with this Traffic Equivalency Statement. The Palm Beach County approval letter dated September 20, 2013 is also attached. This request consists of a change in tenants from auto sales to high-end boat sales for South Florida Yacht Sales.

There are no proposed changes in building size, site layout, or access. This request consists of a change in tenants from auto sales to boat sales.

2.0 TRAFFIC GENERATION

The traffic currently approved for the existing auto sales use has been calculated in accordance with the traffic generation rates listed in the *ITE Trip Generation Manual, 10th Edition* and provided by the Palm Beach County Engineering Traffic Division as shown in Tables 1, 2, and 3 attached with this report. Table 1 shows the daily traffic generation associated with the existing 4500 SF auto sales use in trips per day (tpd). Tables 2 and 3 show the AM and PM peak hour traffic generation, respectively, in peak hour trips (pht). The traffic generated by the existing use may be summarized as follows:

Existing Development

Daily Traffic Generation	=	123 tpd
AM Peak Hour Traffic Generation (In/Out)	=	8 pht (6 In/2 Out)
PM Peak Hour Traffic Generation (In/Out)	=	10 pht (4 In/6 Out)

Note that the auto sales facility has been existing and operational within the past five years.

The traffic to be generated by the new boat sales use has also been calculated in accordance with traffic generation rates listed in the *ITE Trip Generation Manual, 10th Edition Land Use Code 842 Recreational Vehicle Sales* as shown in Tables 4, 5 and 6. Table 4 shows the daily traffic generation associated with the proposed boat sales. Tables 5 and 6 show the A.M. and P.M. peak hour traffic generation, respectively. The traffic to be generated by the proposed 4500 S.F. boat sales facility may be summarized as follows:

Proposed Development

Daily Traffic Generation	=	23 tpd
A.M. Peak Hour Traffic Generation (IN/OUT)	=	2 pht (2 IN/0 OUT)
P.M. Peak Hour Traffic Generation (IN/OUT)	=	3 pht (1 IN/2 OUT)

2.0 TRAFFIC GENERATION (CONTINUED)

The **decrease** in traffic generation as a result of the revised development plan is shown in Table 7 and may be summarized as follows:

Net Trip Generation	
Daily Traffic Generation	= 100 tpd DECREASE
A.M. Peak Hour Traffic Generation	= 6 pht DECREASE
P.M. Peak Hour Traffic Generation	= 7 pht DECREASE

3.0 CONCLUSION

As shown in Table 7, the proposed change in tenants will result in a decrease of 100 daily trips, a decrease of 6 A.M. peak hour trips, and a decrease of 7 PM peak hour trips from the existing development. The project is therefore approvable with regard to the Palm Beach County Traffic Performance Standards.

SOUTH FLORIDA YACHT SALES

01/24/19

VESTED DEVELOPMENT

TABLE 1 - Daily Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization		External Trips		Pass-by		Net Trips	
				In	Out	In	Out	Total	%	Total	In	Out	%	Total	In	Out
New Car Sales	841	4,500 S.F.	32.20			145		145	0		145		15%	22		123
Grand Totals:						145		145	0		145		15%	22		123

TABLE 2 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization		External Trips		Pass-by		Net Trips		
				In	Out	In	Out	Total	%	Total	In	Out	%	Total	In	Out	
New Car Sales	841	4,500 S.F.	1.82	0.75	0.25	7	2	9	0	0	7	2	9	15%	1	6	8
Grand Totals:						7	2	9	0	0	7	2	9	15%	1	6	8

TABLE 3 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization		External Trips		Pass-by		Net Trips		
				In	Out	In	Out	Total	%	Total	In	Out	%	Total	In	Out	
New Car Sales	841	4,500 S.F.	2.62	0.40	0.60	5	7	12	0	0	5	7	12	15%	2	4	10
Grand Totals:						5	7	12	0	0	5	7	12	15%	2	4	10



SOUTH FLORIDA YACHT SALES

01/24/19

PROPOSED DEVELOPMENT

TABLE 4 - Daily Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization			External Trips			Pass-by		Net Trips	
				In	Out	In	Out	Total	%	Total	In	Out	Total	In	Out	Total	In	Out
Recreational Vehicle Sales	842	4,500	S.F.	5.00				23	0.0%	0	0	23	0	0	0	0	0	23
Grand Totals:								23	0.0%	0	0	23						23

TABLE 5 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization			External Trips			Pass-by		Net Trips	
				In	Out	In	Out	Total	%	Total	In	Out	Total	In	Out	Total	In	Out
Recreational Vehicle Sales	842	4,500	S.F.	0.45	0.85	0.15		2	0.0%	0	0	2	0	0	2	0	0	2
Grand Totals:								2	0.0%	0	0	2						2

TABLE 6 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization			External Trips			Pass-by		Net Trips	
				In	Out	In	Out	Total	%	Total	In	Out	Total	In	Out	Total	In	Out
Recreational Vehicle Sales	842	4,500	S.F.	0.77	0.31	0.69		1	0.0%	0	0	1	2	3	0	0	0	1
Grand Totals:								1	0.0%	0	0	1	2	3				1



SOUTH FLORIDA YACHT SALES

01/24/19

**TABLE 7
TRAFFIC GENERATION DECREASE**

	DAILY	AM PEAK HOUR		PM PEAK HOUR		
		TOTAL	IN	TOTAL	IN	OUT
EXISTING/VESTED DEVELOPMENT =	123	8	6	2	2	6
PROPOSED DEVELOPMENT =	23	2	2	0	1	2
DECREASE =	-100	-6	-4	-2	-3	-4





Ms. Nadia Di Tommaso
February 11, 2019
Page 2

No building permits are to be issued by the Town after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email QBari@pbcgov.org.

Sincerely,

Quazi Bari, P.E.
Senior Professional Engineer
Traffic Division

QB:HA/tj

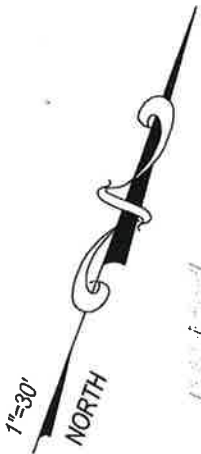
cc: Addressee:
Robert F. Rennebaum, PE, Simmons & White, Inc.
Hanane Akif, E.I., Project Coordinator II, Traffic Division
Steve Bohovsky, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\HAMUNICIPALITIES\APPROVALS\2019\190201 - SOUTH FLORIDA YACHT.DOCX

SHEET SDD-1

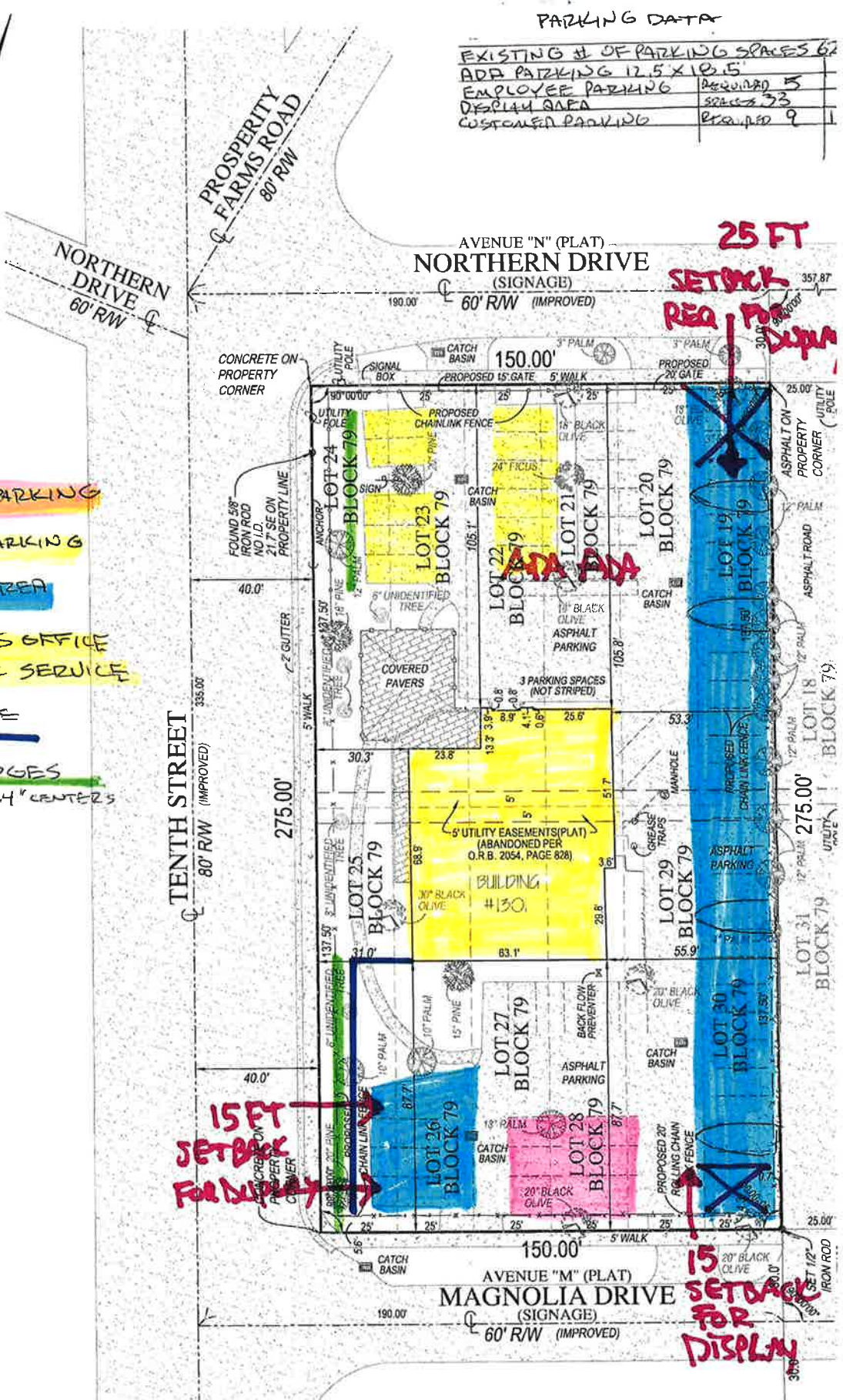
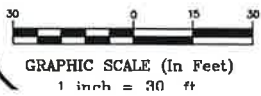
PARKING DATA

EXISTING # OF PARKING SPACES	62
ADD PARKING 12.5' X 10.5'	
EMPLOYEE PARKING	RESERVED 5
DISPLAY AREA	RESERVED 23
CUSTOMER PARKING	RESERVED 9



LEGEND

- EMPLOYEE PARKING
- CUSTOMER PARKING
- DISPLAY AREA
- BOAT SALES OFFICE
- CUSTOMER SERVICE
- NEW FENCE
- NEW HEDGES
- 30" TALL 24" CENTERS



LOT 24 BLOCK 78	LOT 23 BLOCK 78	LOT 22 BLOCK 78	LOT 21 BLOCK 78	LOT 20 BLOCK 78	LOT 19 BLOCK 78	LOT 18 BLOCK 78
--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------



**TOWN LAKE OF PARK
SPECIAL CALL MEETING
PLANNING & ZONING BOARD**

Agenda Item: PZ19-003

MEETING DATE:	March 5, 2019 – <i>immediately following joint meeting at 6:00pm</i>
----------------------	--

STAFF REPORT

PROPOSAL:

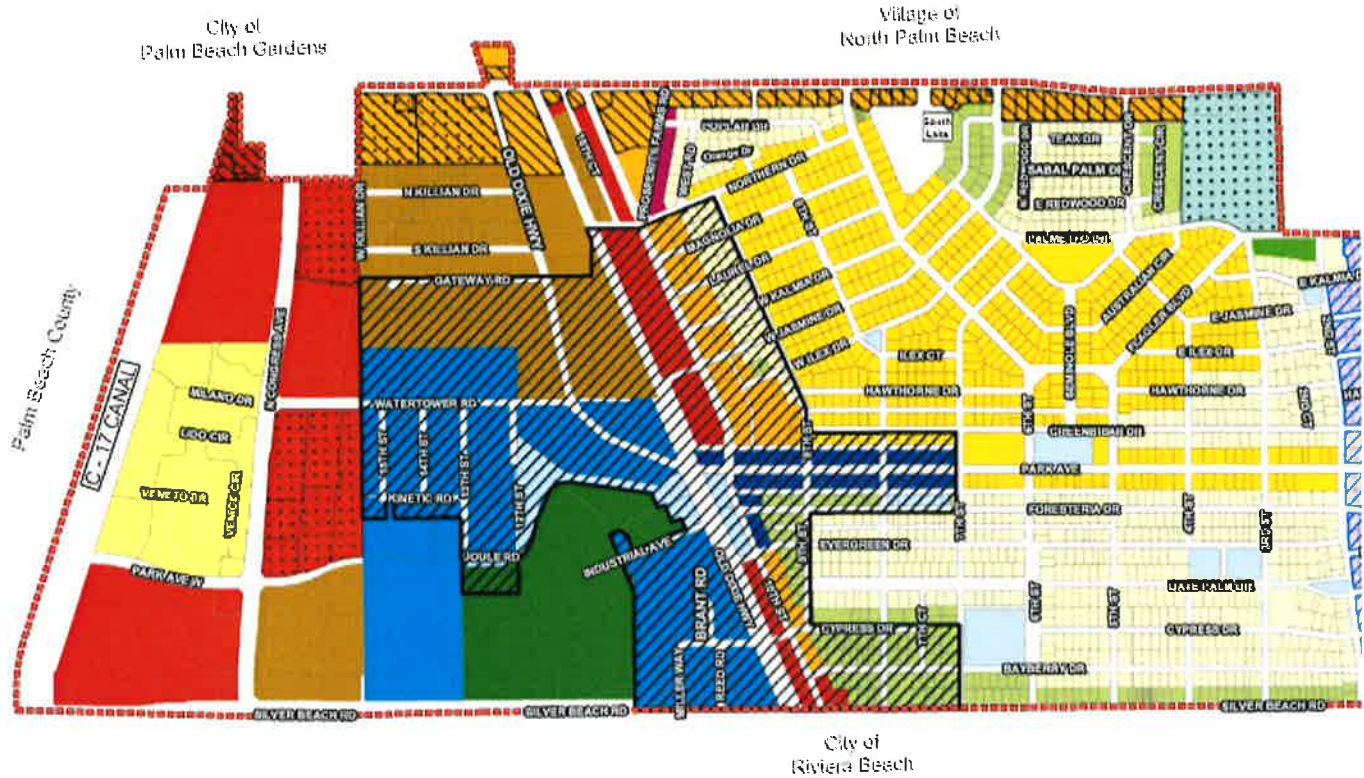
A staff-initiated text amendment proposing to incorporate brewery-type uses in the C-2 zoning district codified in Town Code Section 78-72.

BACKGROUND:

The economy has taken quite an upturn in the past few years. During this upturn, the Town has created several steps in promoting economic vitality along our commercial corridors. Some of these initiatives have included new land development regulations that allow for mixed-use development opportunities along our US-1 Corridor; flexible design standards for certain parcels within our industrial areas; along with the incorporation of brewery-type uses and outdoor cafes regulations for our Park Avenue downtown area. These initiatives have sparked quite a bit of interest in the Town from investors and developers alike. The Town Commission has also recently discussed their desire to expand the Park Avenue Downtown District (PADD) boundaries further to the north and south sides of Park Avenue, so as to expand the mixed-use opportunities within the Town and promote the live, work and play environments that the Town has embraced. This agenda item focuses on brewery-type uses for the C-2 Business District since these uses inevitably foster synergy in commercial centers where they are located, by attracting patrons of all ages and other uses such as restaurants and retail shops that interact well together. Consequently, given the increased interest in Lake Park, this agenda item proposes to introduce brewery-type uses, which have already been embraced by the P&Z Board and Town Commission, into the C-2 Business District. The C-2 Business District includes the properties in red in the following excerpt of the Town's Zoning Map:

(refer to the next page)

C-2 Business District includes all RED parcels



This proposal is not only important to provide additional business opportunities in the future for the C-2 Business District, but it is also important because it will create *immediate* business opportunities. Given the Town’s extensive marketing and economic development initiatives over the past few years, an investor from the Broward County area became interested in Lake Park and purchased a property just north of Park Avenue behind the Advance AutoParts store in 2018 for over three-quarter of a million dollars. The owner, The Geneva Group, met with Staff given their mutual interest in wanting to revitalize their commercial center and bring in uses that blend in well with our downtown area and bring synergy. They have since been connected with a microbrewer who has chosen to make Lake Park their home. The positive impacts to approving this text amendment will be immediate.

Staff is proposing the following for Town Code Section 78-72 (which is identical to what has already been adopted for the PADD):

(NEW) Town Code Section 78-72(1)(r)

Brewpub. In addition to the development standards relevant to other restaurant use types in the District, for an establishment to meet the definition of a brewpub, it shall comply with the following:

1. Revenue from food sales shall constitute more than 50 percent of the total business revenues;
2. No more than 50 percent of the total gross floor area of the establishment shall be used for the brewery function including, but not limited to, the brewing house, boiling and water treatment areas, bottling and kegging lines, malt milling and storage, fermentation tanks, conditioning tanks and serving tanks;
3. Where permitted by local ordinance, state and federal law, retail carryout sale of beer produced on the premises shall be allowed in specialty containers holding no more than a U.S. gallon (3,785 ml/128 US fluid ounces). These containers are commonly referred to as growlers;
4. Brewpubs shall produce no more than 15,000 barrels (465,000 US gallons/17,602.16 hectoliters) of beer per year and may sell beer in keg containers larger than a U.S. gallon (3,785 ml/128 US fluid ounces) for the following purposes and in the following amounts:
 - (a) An unlimited number of kegs for special events, the primary purpose of which is the exposition of beers brewed by brewpubs, which include the participation of at least three such brewers;
 - (b) An unlimited number of kegs for town co-sponsored events where the purpose of the event is not for commercial profit and where the beer is not wholesaled to the event co-sponsors but is instead, dispensed by employees of the brewpub.
5. All mechanical equipment visible from the street (excluding alleys), an adjacent residential use or residential zoning district shall be screened using architectural features consistent with the principal structure;
6. Access and loading bays shall not face toward any street, excluding alleys;
7. Access and loading bays facing an adjacent residential use or residential zoning district, shall have the doors closed at all times, except during the movement of raw materials, other supplies and finished products into and out of the building;
8. Service trucks for the purpose of loading and unloading materials and equipment shall be restricted to between the hours of 8:00 a.m. and 8:00 p.m. Monday through Saturday and between 11:00 a.m. and 7:00 p.m. on Sundays and national holidays;
9. No outdoor storage shall be allowed. This prohibition includes the use of portable storage units, cargo containers and tractor trailers.

(NEW) Town Code Section 78-72(2)(o)

Microbrewery. In addition to the development standards relevant to restaurant or retail use types in the District, as applicable, for an establishment to meet the definition of a microbrewery, it shall comply with the following:

1. The microbrewery shall produce no more than 15,000 barrels (465,000 US gallons/17,602.16 hectoliters) of beer per year;
2. This use shall be permitted only in conjunction with a restaurant, tasting room or retail sales and service:
 - (a) No more than 75 percent of the total gross floor space of the establishment shall be used for the brewery function including, but not limited to, the brewing house, boiling and water treatment areas, bottling and kegging lines, malt milling and storage, fermentation tanks, conditioning tanks and serving tanks;
 - (b) The façade of an interior accessory use(s) shall be oriented toward the street, excluding alleys, and, if located in a shopping center, to the common space where the public can access the use;

- (c) Pedestrian connections shall be provided between the public sidewalks and the primary entrance(s) to any accessory use(s).
- 3. All mechanical equipment visible from the street (excluding alleys), an adjacent residential use or residential zoning district shall be screened using architectural features consistent with the principal structure;
- 4. Access and loading bays are discouraged from facing toward any street, excluding alleys;
- 5. Access and loading bays facing any street, adjacent residential use or residential zoning district, shall have the doors closed at all times, except during the movement of raw materials, other supplies and finished products into and out of the building;
- 6. Service trucks for the purpose of loading and unloading materials and equipment shall be restricted to between the hours of 8:00 a.m. and 8:00 p.m. Monday through Saturday and between 11:00 a.m. and 7:00 p.m. on Sundays and national holidays;
- 7. No outdoor storage shall be allowed, including the use of portable storage units, cargo containers and tractor trailers, except as follows: spent or used grain, which is a natural byproduct of the brewing process, may be stored outdoors for a period of time not to exceed 24 hours. The temporary storage area of spent or used grain shall be:
 - (a) Designated on the approved site plan;
 - (b) Permitted within the interior side or rear yard or within the minimum building setbacks;
 - (c) Prohibited within any yard directly abutting a residential use or residential zoning district;
 - (d) Fully enclosed within a suitable container, secured and screened behind a solid, opaque fence or wall measuring a minimum five feet in height.

(NEW) Town Code Section 78-72(2)(p)

Brewery - Regional (small) and large brewery. Regional (small) and large breweries shall comply with the microbrewery standards herein, but shall be permitted to occupy 100 percent of the total gross floor space of the establishment. A public viewing area opened certain hours at least five days per week shall be incorporated in the operation in order to render the use as an "attraction." This use acts as a main supplier of beer within a surrounding 'fixed' geographical area as identified in the business plan.

In summary, three uses are being proposed as follows for the C-2 Business District:

Brewpub – Approved by right (staff can approve administratively)

Microbrewery - Special Exception Use requiring P&Z Board and Town Commission Approval

Brewery - Special Exception Use requiring P&Z Board and Town Commission Approval

The C-2 District has a land use designation of Commercial or Commercial/Light Industrial therefore, the proposed uses are consistent with the land use designation.

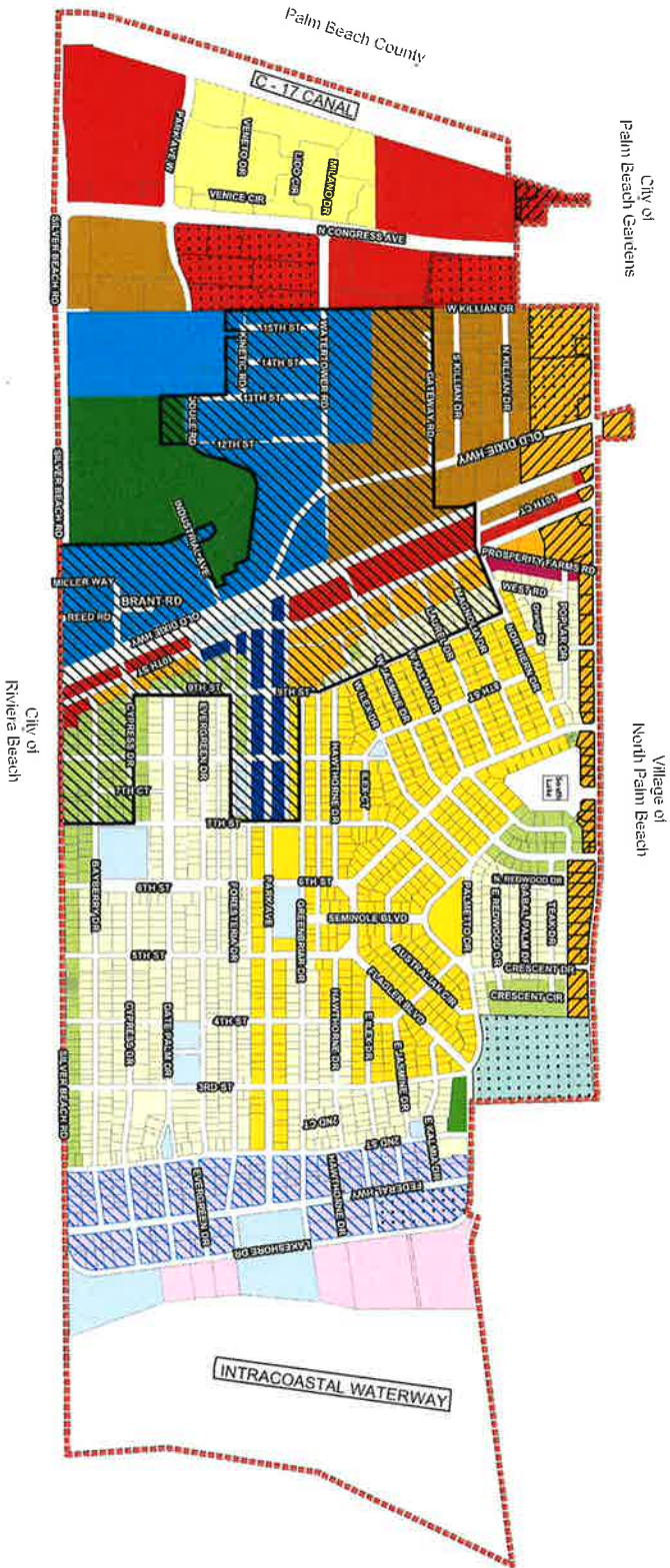
Staff Recommended Motion for the Board:

I move to “APPROVE” the proposed text amendments to Town Code Section 78-72 to allow for Brewpubs, Microbreweries and Breweries as proposed by Staff.

****all property owners within the C-2 District were noticed with a certified letter that was mailed on February 22, 2019 and an advertisement was also placed in the PB Post on February 23, 2019****



Lake Park Zoning Map



Legend

- | | | | | | | | |
|--|---|--|---|--|---------------------------------------|--|--|
| | TOWN BOUNDARY | | CLIC CAMPUS LIGHT INDUSTRIAL & COMMERCIAL | | R1 SINGLE FAMILY RESIDENCE DISTRICT | | R2A MULTIPLE FAMILY RESIDENCE DISTRICT |
| | Planned Unit Development Overlay | | CONSERVATION | | R1A SINGLE FAMILY RESIDENCE DISTRICT | | R3 MULTIPLE FAMILY RESIDENCE DISTRICT |
| | NBOZ Overlay | | MU MIXED USE | | R1AA RESIDENCE DISTRICT | | TND TRADITIONAL NEIGHBORHOOD DEVELOPMENT |
| | CRA Overlay | | P PUBLIC DISTRICT | | R1B TWO FAMILY RESIDENCE DISTRICT | | |
| | FHMUDO Federal Highway Mixed Use District Overlay | | PADD PARK AVENUE DOWNTOWN DISTRICT | | R2 MULTIPLE FAMILY RESIDENCE DISTRICT | | |



Map Date: 6/12/2018



Nadia Di Tommaso - Director
 Community Development Department
 Town of Lake Park
 535 Park Ave, Lake Park, FL 33403
 561-881-3319 561-881-3323 (fax)
 ndi@lomparkflorida.gov

